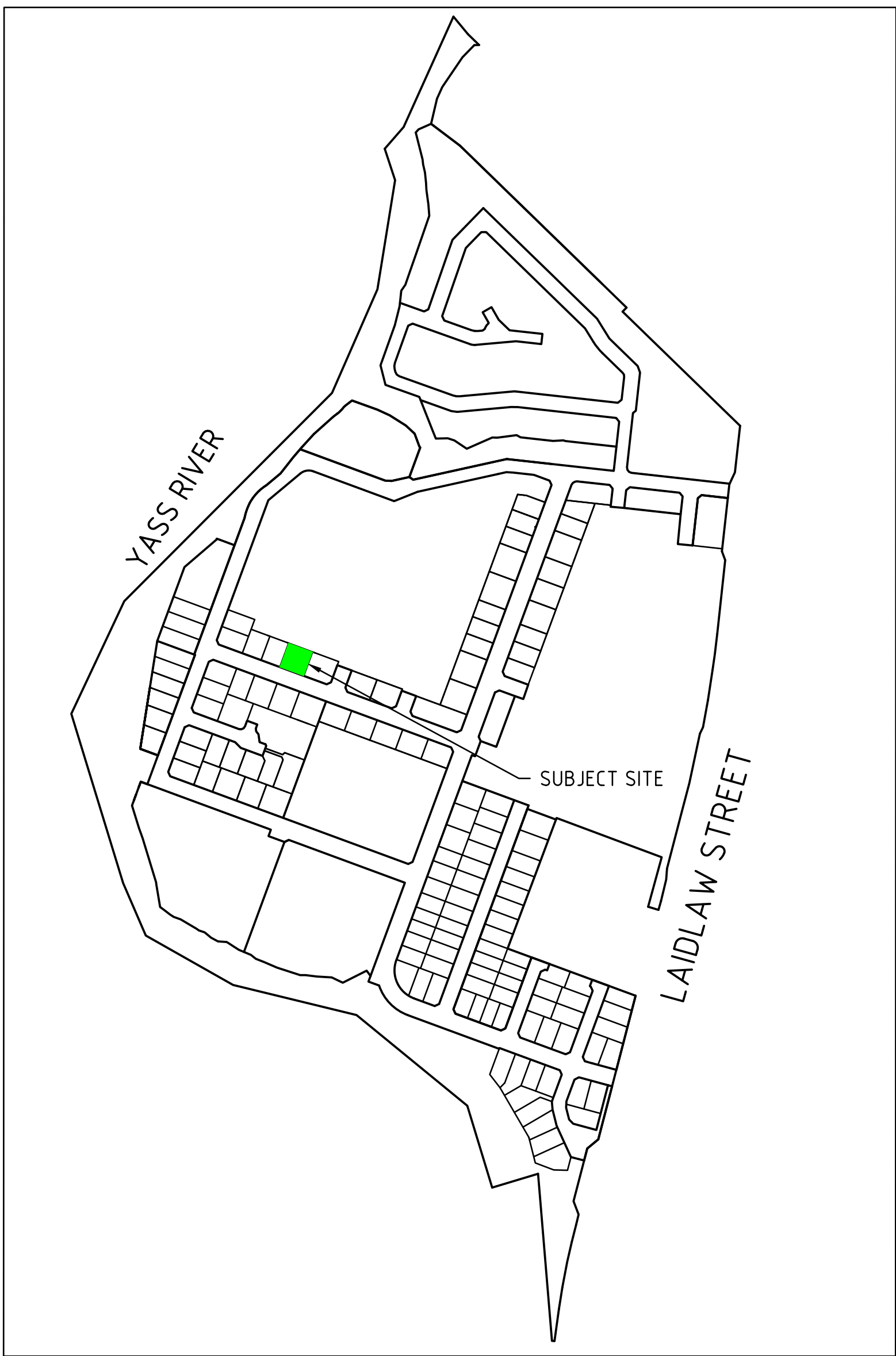


YARRAH ESTATE



#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

1. DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
2. GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
3. LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
4. MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
5. BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
6. SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
7. SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
8. UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 15 METRES FORWARD OF THE BL.
9. MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
10. MINIMUM DUPLEXED LOT SIZE IS 450SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOCALITY PLAN

REVISION - A DATE 18.02.2022

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

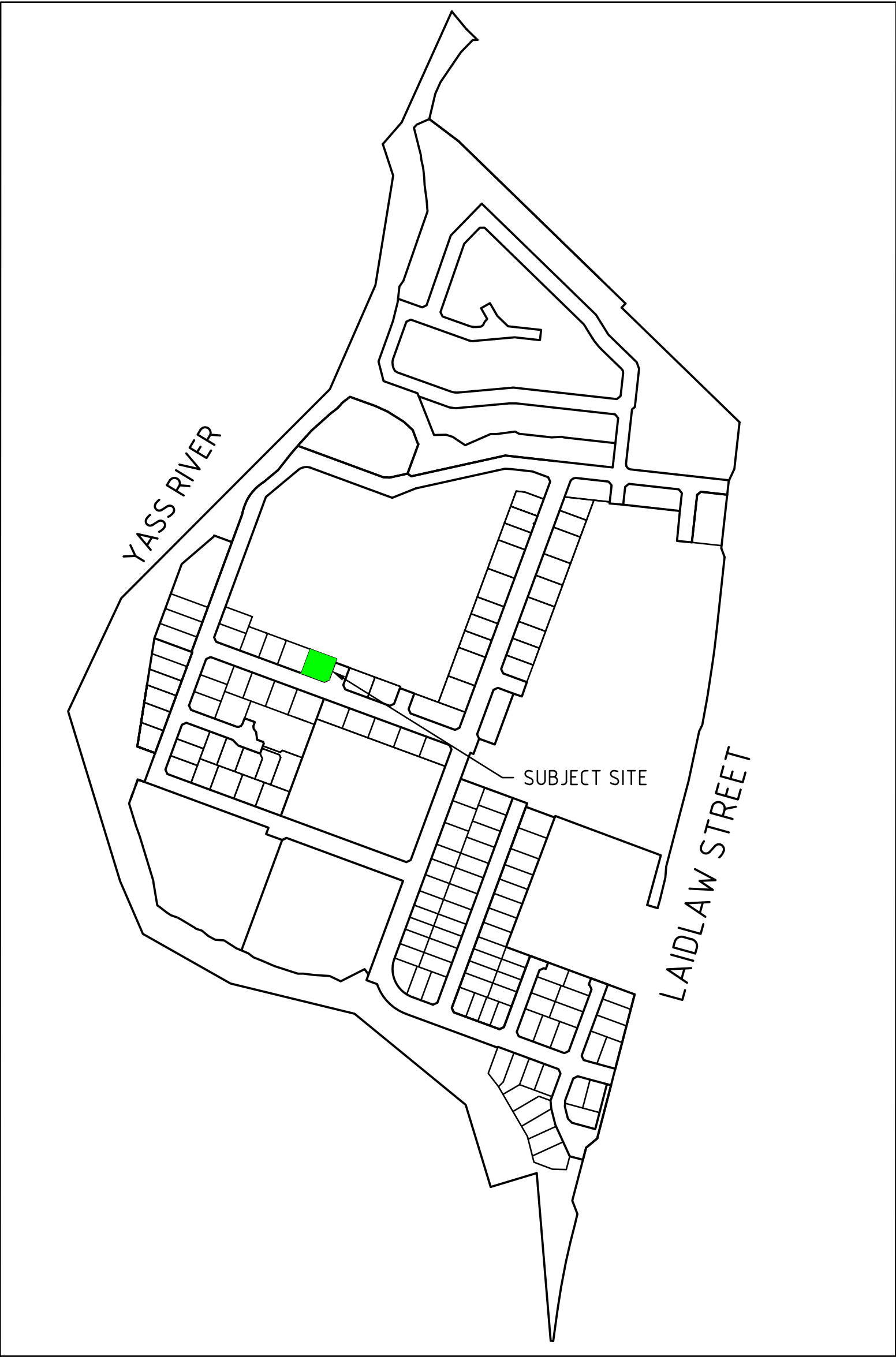
FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epl-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

DISCLAIMER:

1. ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
2. THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.



LOCALITY PLAN

MAX GFA	543 sqm #1
MINIMUM LANDSCAPE	385 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	47 sqm #2
MINIMUM LANDSCAPE REAR OF BL	193 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	3 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

1. DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
2. GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
3. LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
4. MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
5. BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
6. SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
7. SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
8. UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
9. MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
10. MINIMUM DUPLEXED LOT SIZE IS 485SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED

THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT.

PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN AND SUBJECT TO CHANGE DURING CONSTRUCTION

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

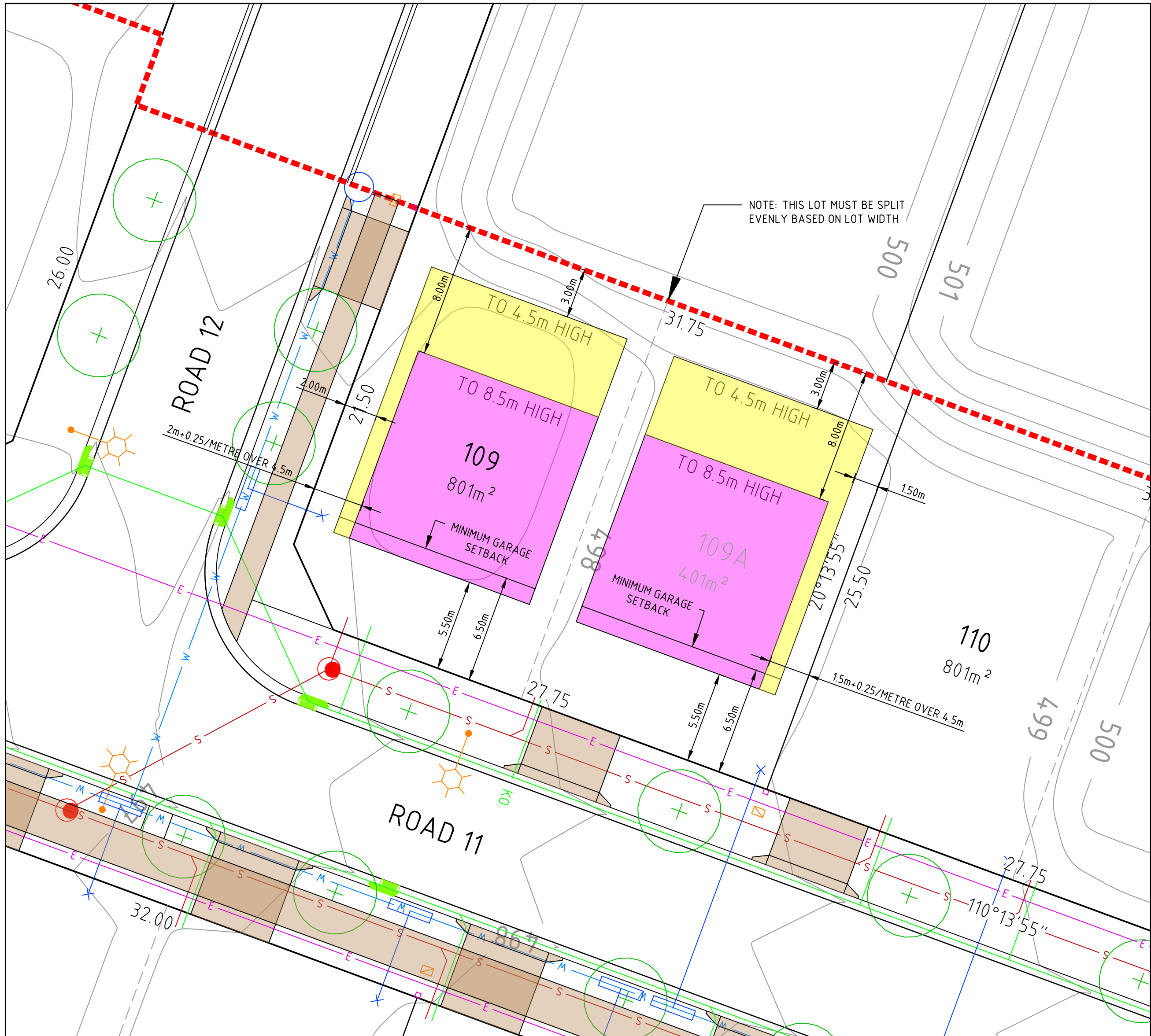
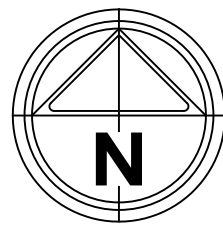
FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epl-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

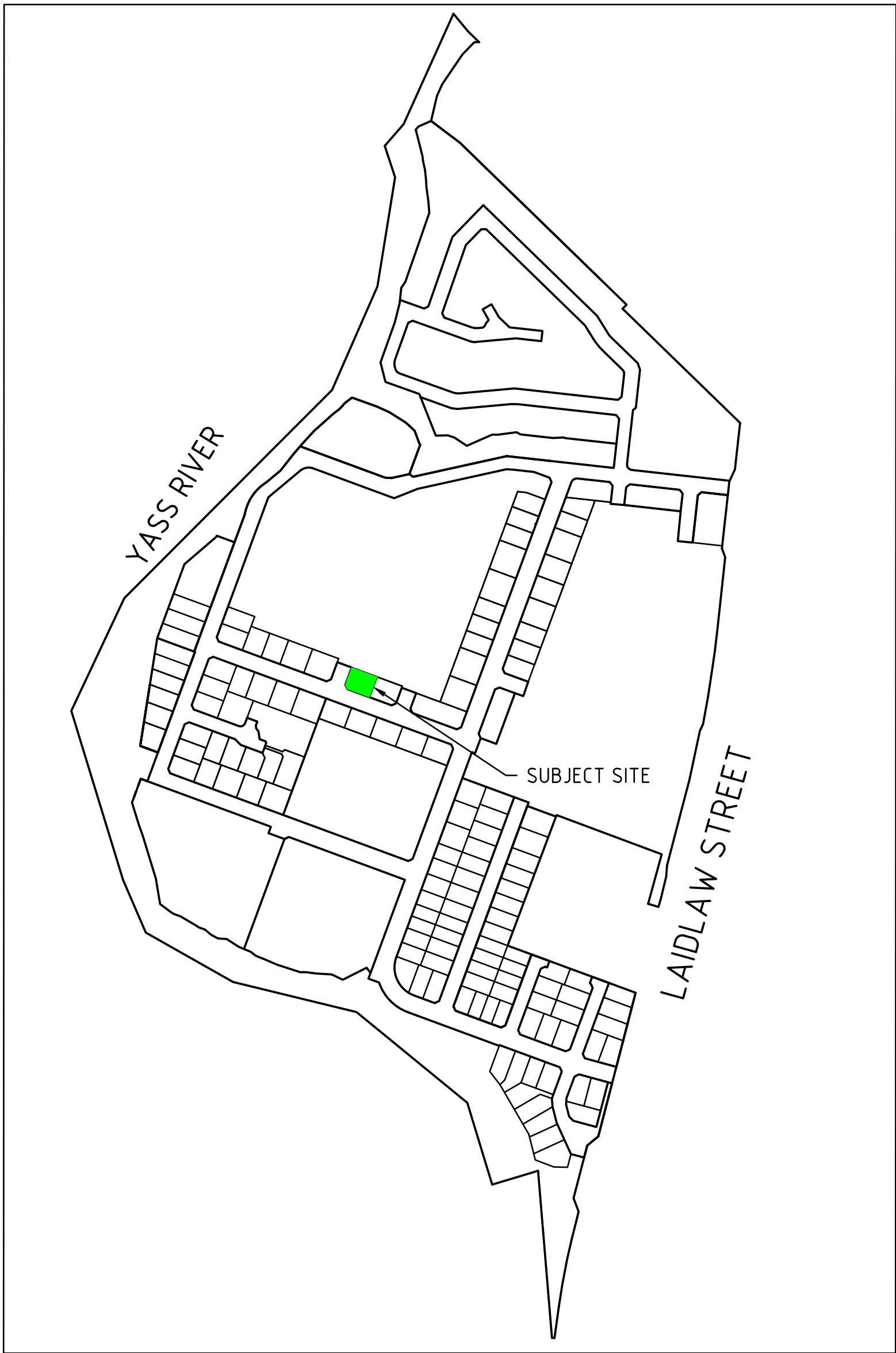
DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

DISCLAIMER:

1. ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
2. THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.



DETAIL PLAN



LOCALITY PLAN

MAX GFA	501 sqm #1
MINIMUM LANDSCAPE	301 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	38 sqm #2
MINIMUM LANDSCAPE REAR OF BL	151 sqm #2
FRONT SETBACK TO BL BUILD LINE	5.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	2m
SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 401SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND

LOT BOUNDARY	—	WATER	— W —	STREET TREE	⊙
FINISHED SURFACE CONTOURS (1m)	— 590 —	SERVICES TRENCH (Electricity & NBN)	—	PATH (1.5 - 2.4m wide)	▬
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	⊙	MAX HEIGHT 8.5m	■
BLOCK BEARING	90°00'00"	SUBSTATION	⊞	MAX HEIGHT 4.5m	■
FUTURE LOT BOUNDARY	---	ELECTRICAL PILLAR / PIT	⊞		
STORMWATER	— SW —	NBN PIT	⊞		
SEWER	— S —	DRIVEWAY LOCATION	▬		

© SPIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

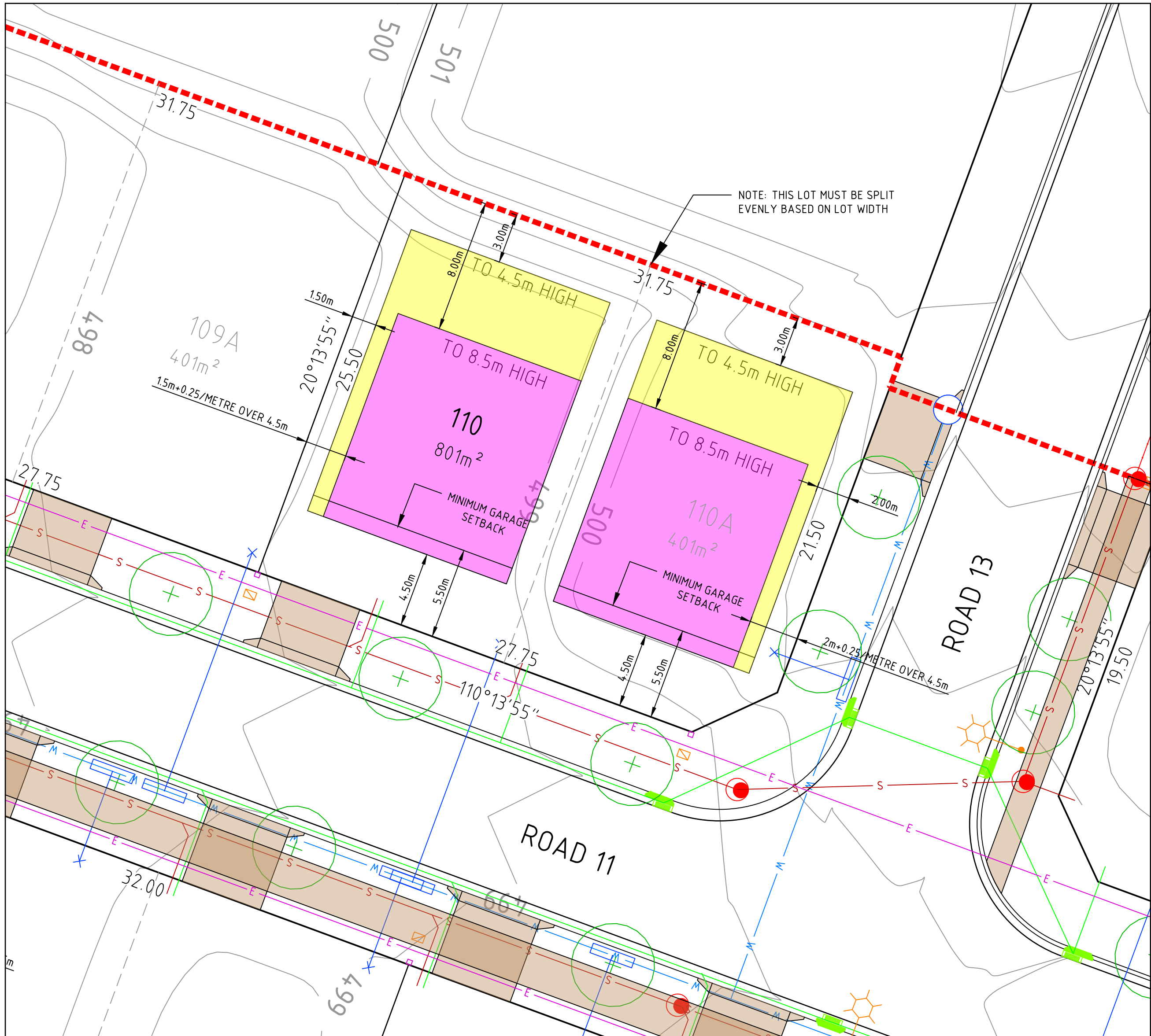
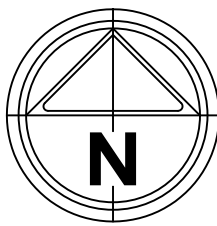
- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

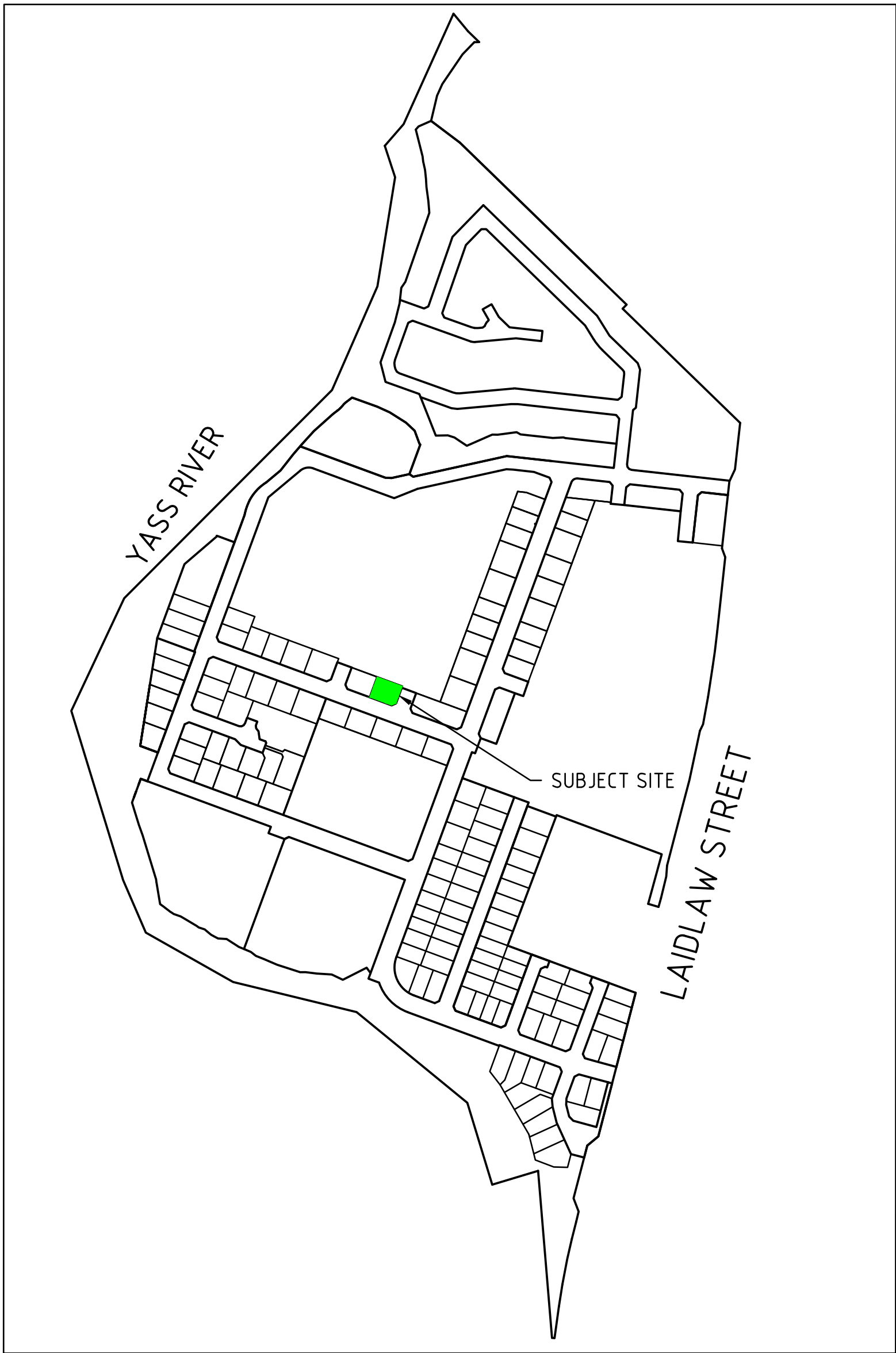
FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)



DETAIL PLAN



LOCALITY PLAN

MAX GFA	501 sqm #1
MINIMUM LANDSCAPE	301 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	32 sqm #2
MINIMUM LANDSCAPE REAR OF BL	151 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	2m
SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 401SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
STREET TREE			
PATH (1.5 - 2.4m wide)			
MAX HEIGHT 8.5m			
MAX HEIGHT 4.5m			

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

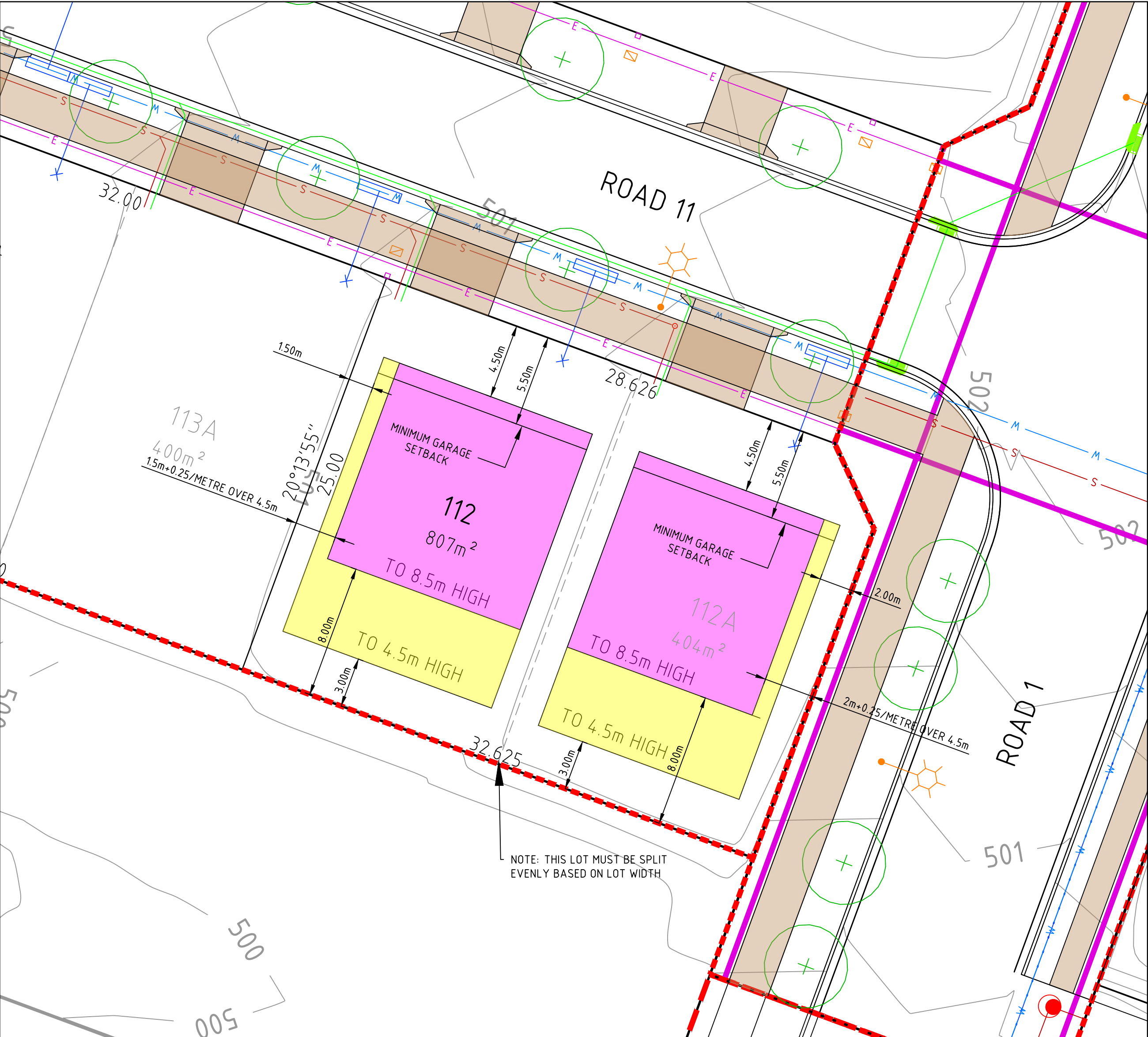
FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

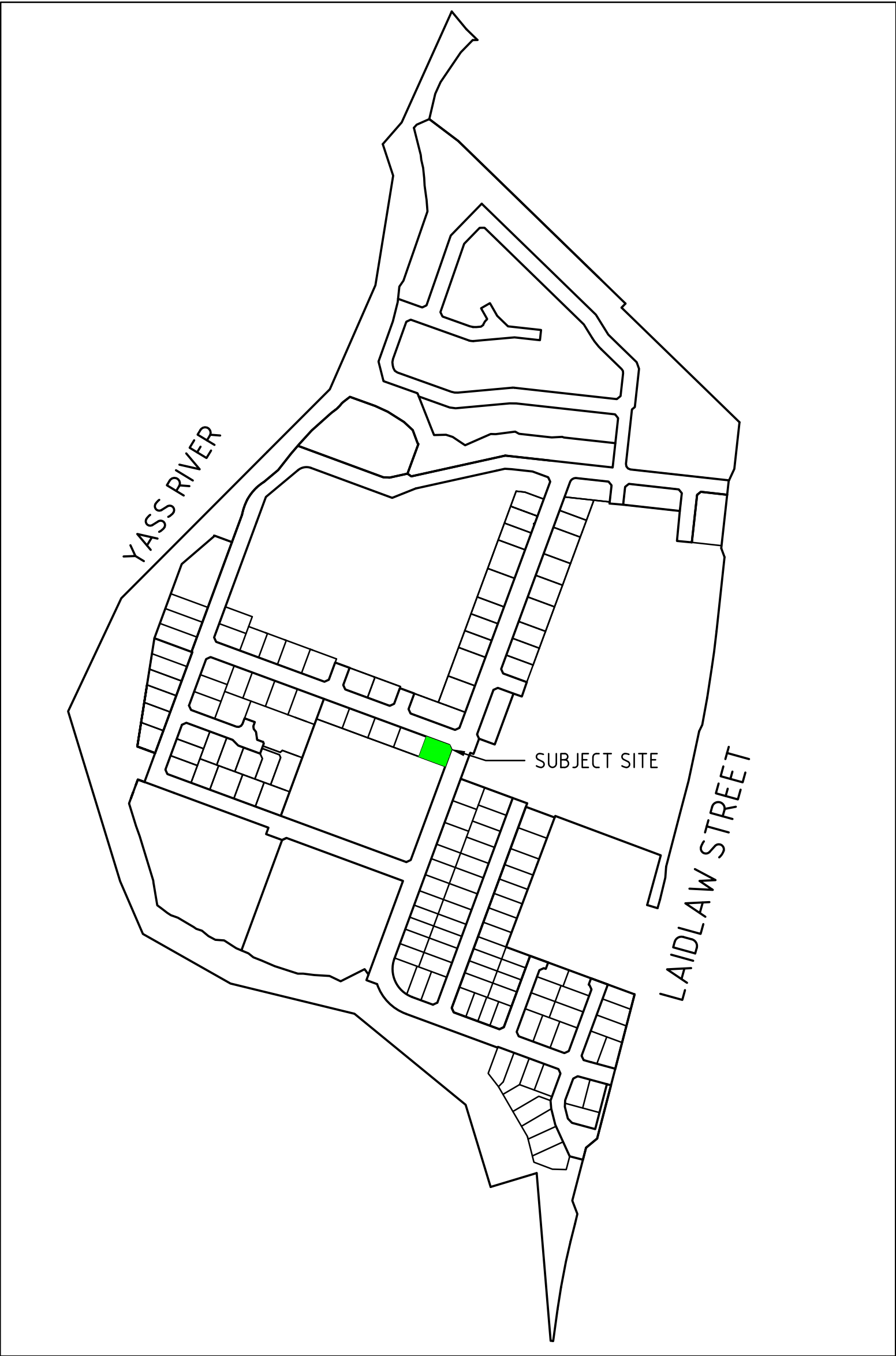


LOT DISCLOSURE PLAN - ESTATE LOT

YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN

MAX GFA	502 sqm #1
MINIMUM LANDSCAPE	304 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	33 sqm #2
MINIMUM LANDSCAPE REAR OF BL	152 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	2m
SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 404SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
STREET TREE			
PATH (1.5 - 2.4m wide)			
MAX HEIGHT 8.5m			
MAX HEIGHT 4.5m			

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

- DISCLAIMER:
- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
 - THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

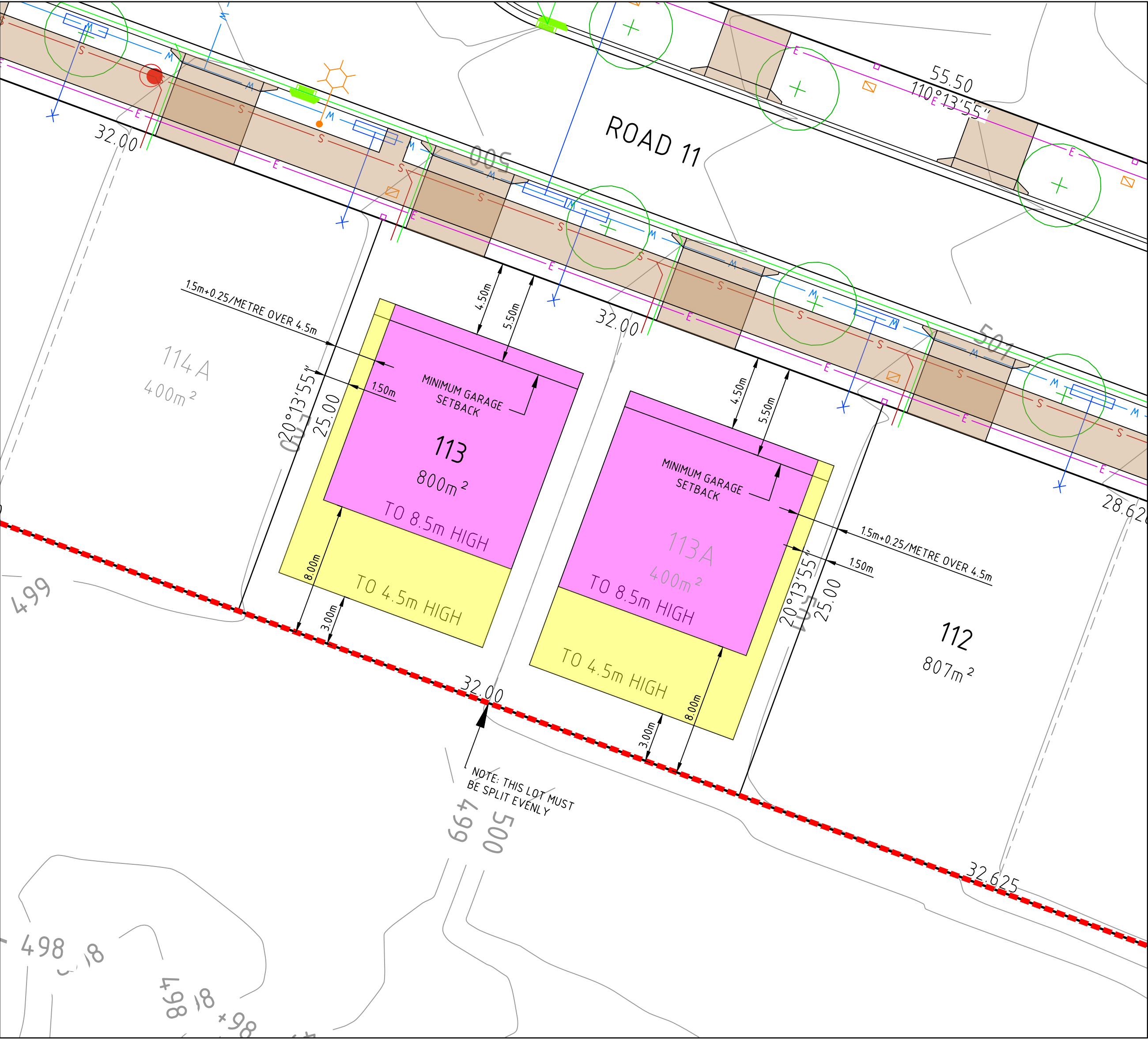
FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

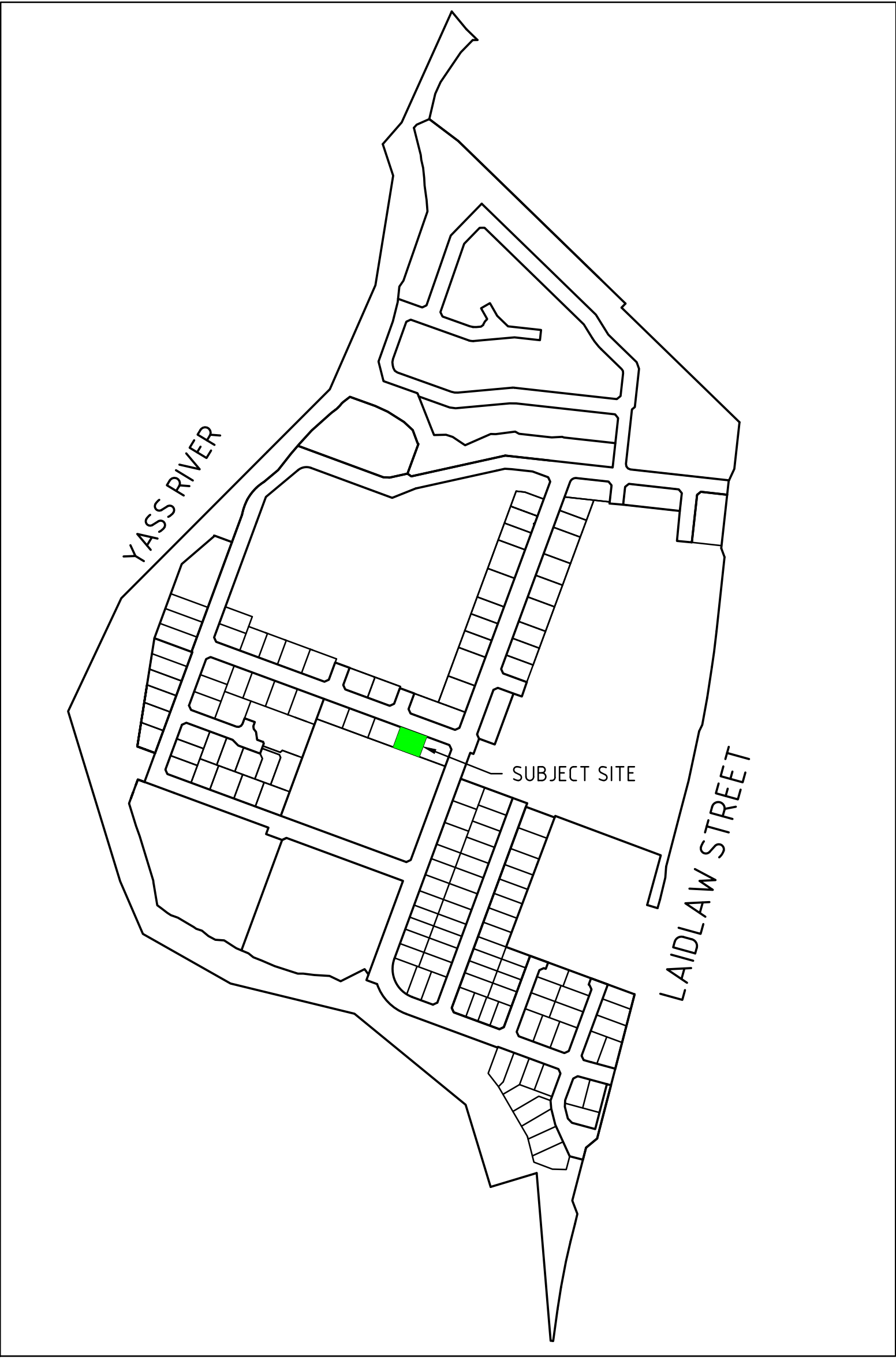


LOT DISCLOSURE PLAN - ESTATE LOT

YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN

MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 400SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
		STREET TREE	
		PATH (1.5 - 2.4m wide)	
		MAX HEIGHT 8.5m	
		MAX HEIGHT 4.5m	

© SPIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

- DISCLAIMER:
- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
 - THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

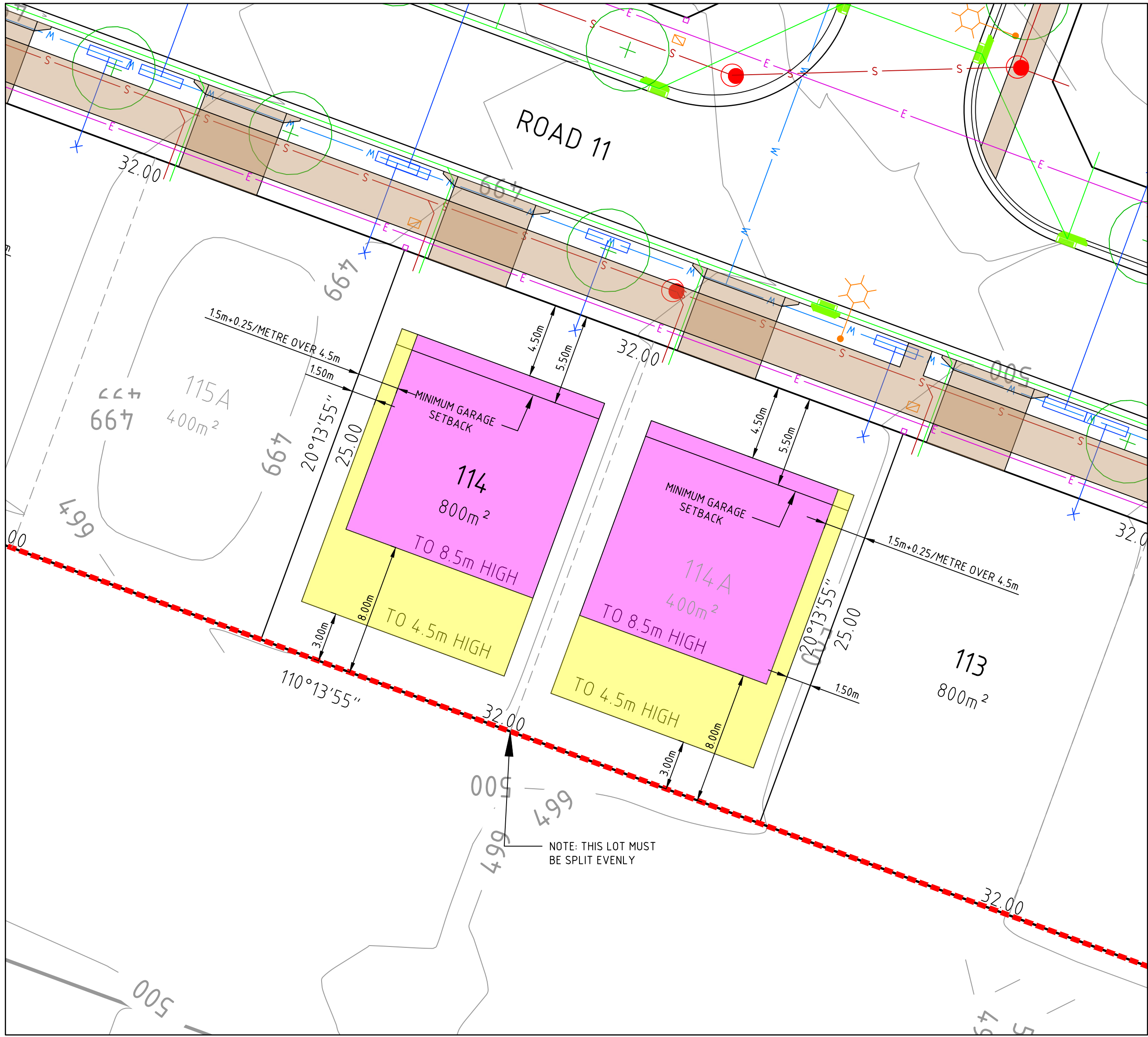
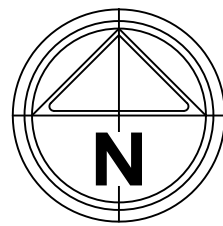
FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

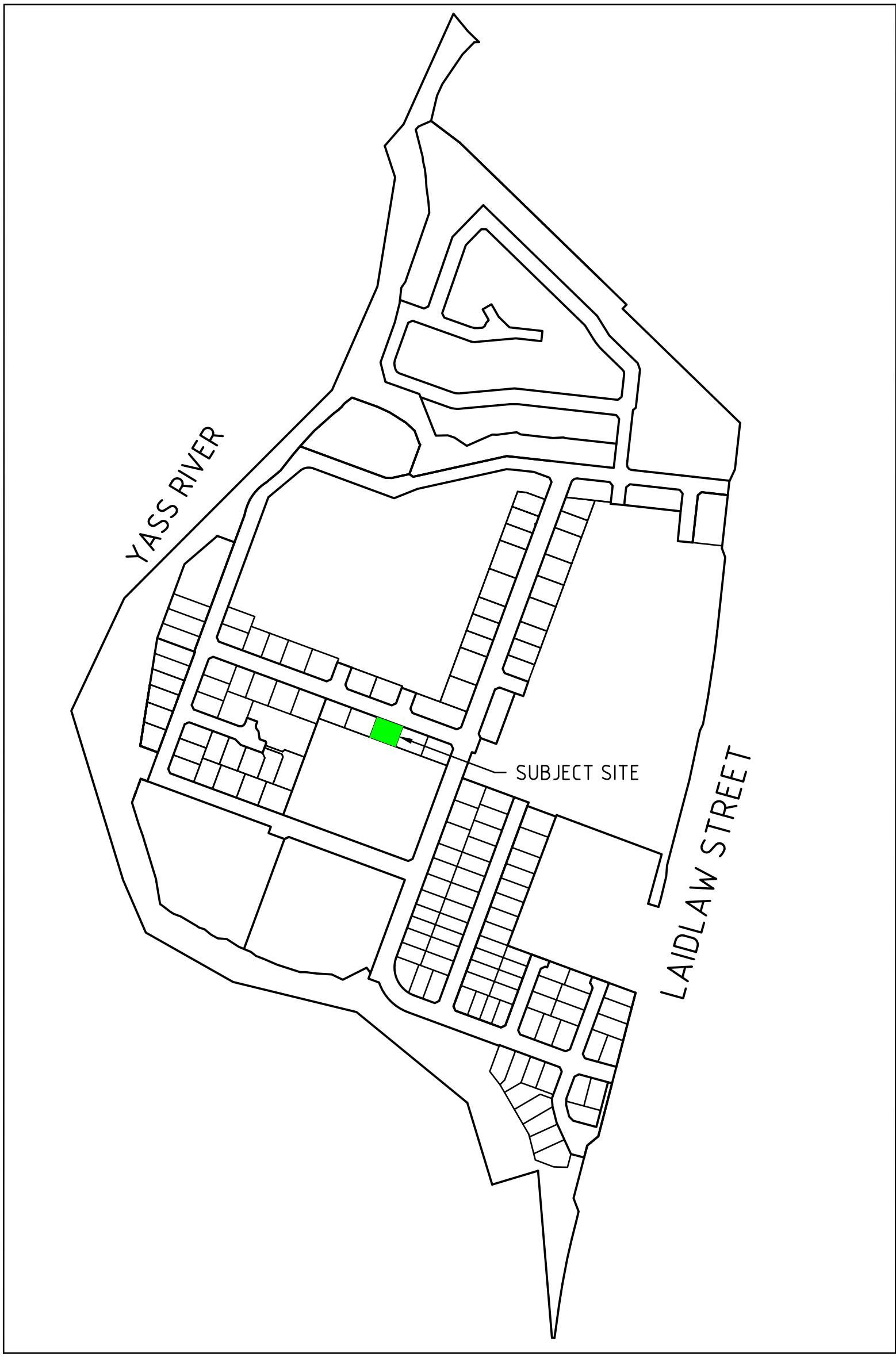


LOT DISCLOSURE PLAN - ESTATE LOT

YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN

MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 400SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

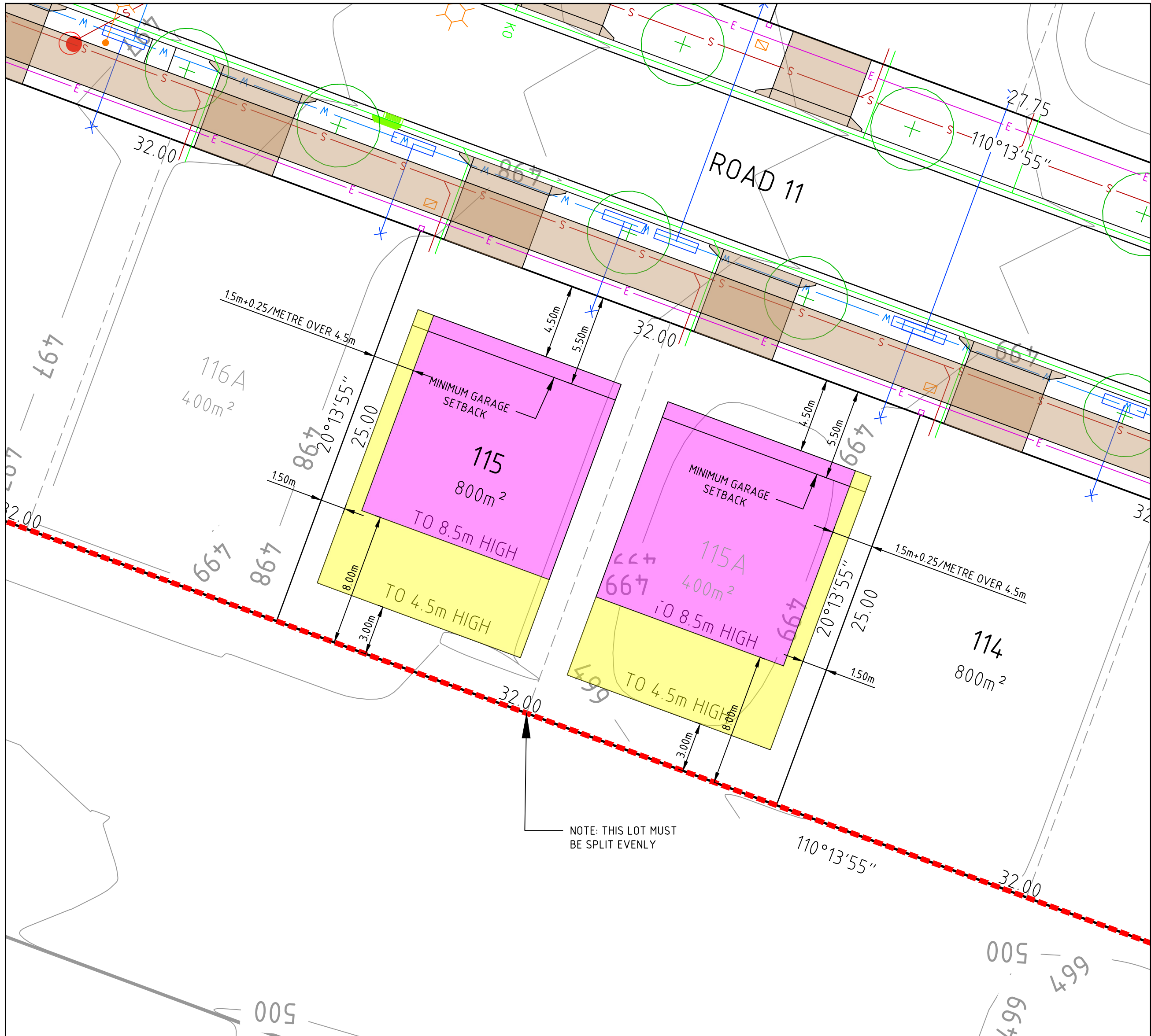


LOT

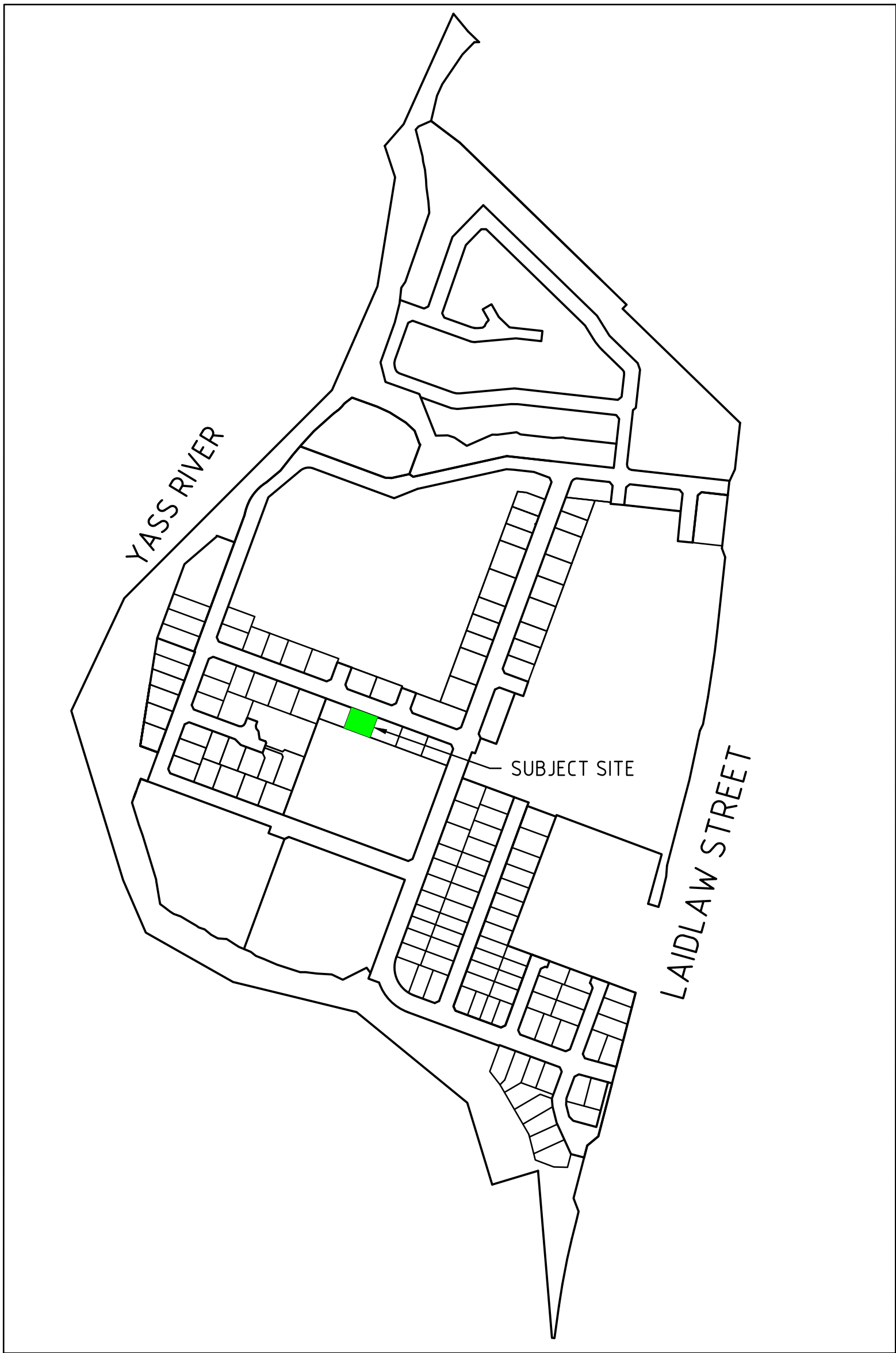
115

LOT DISCLOSURE PLAN - ESTATE LOT

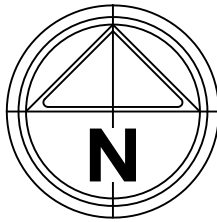
YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN



MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 400SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
		STREET TREE	
		PATH (1.5 - 2.4m wide)	
		MAX HEIGHT 8.5m	
		MAX HEIGHT 4.5m	

© SPIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

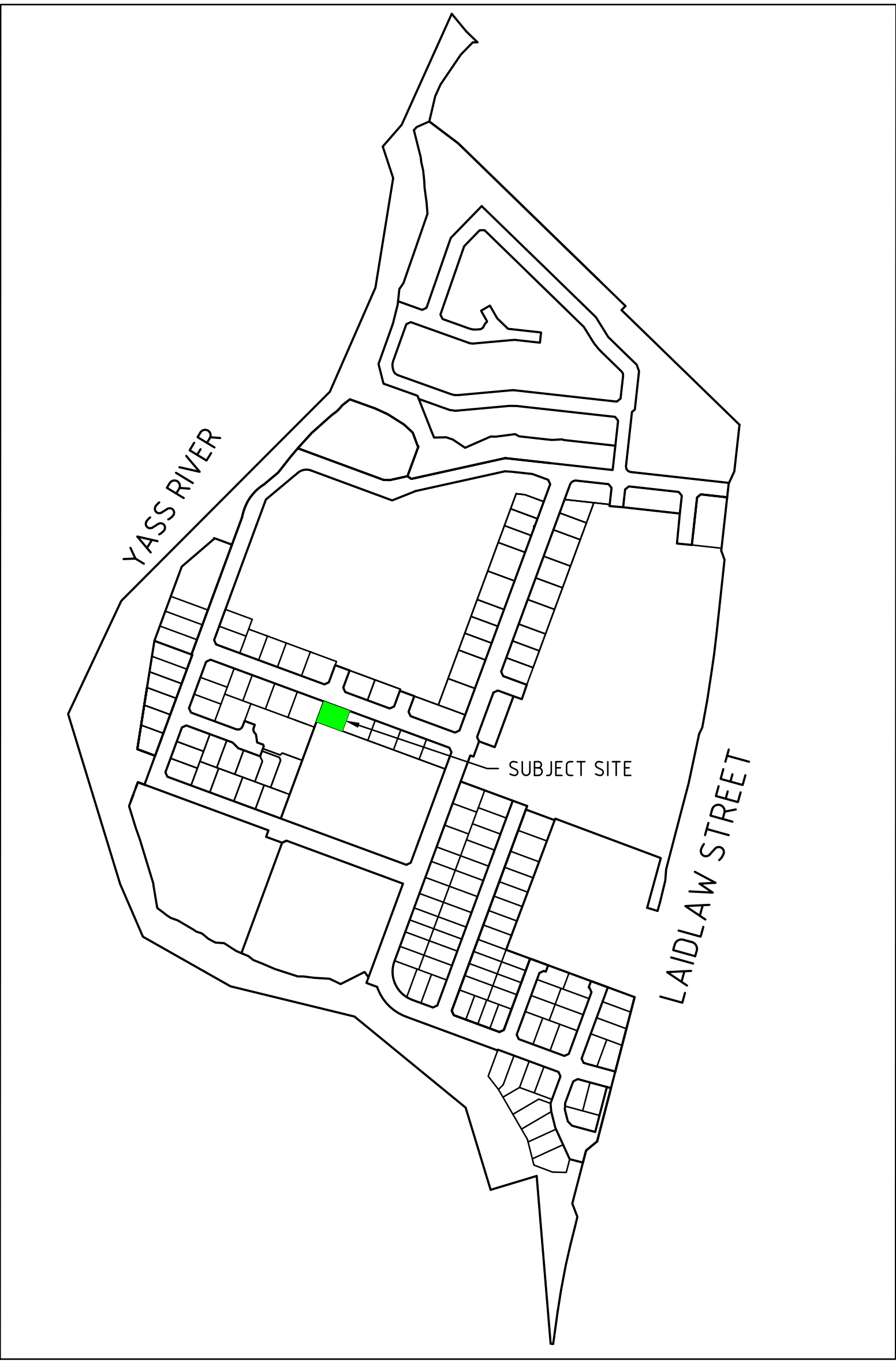
NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

YARRAH ESTATE



MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	44 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	5.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

1. DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
2. GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
3. LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
4. MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
5. BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
6. SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
7. SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
8. UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 15 METRES FORWARD OF THE BL.
9. MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
10. MINIMUM DUPLEXED LOT SIZE IS 400SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOCALITY PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED

THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT.

PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN AND SUBJECT TO CHANGE DURING CONSTRUCTION

DISCLAIMER:

1. ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
2. THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epl-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)
[HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

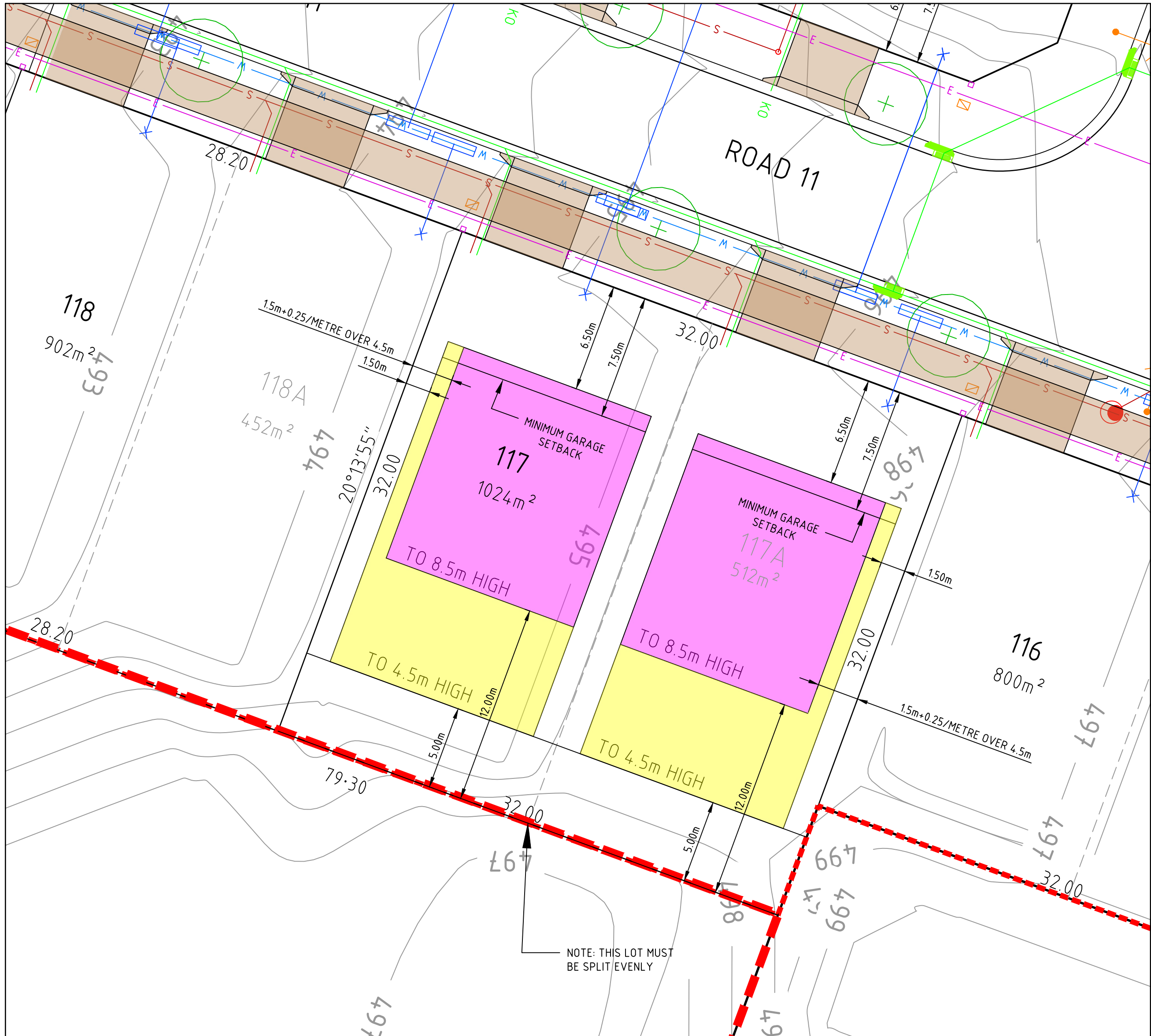
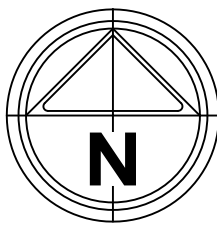


LOT

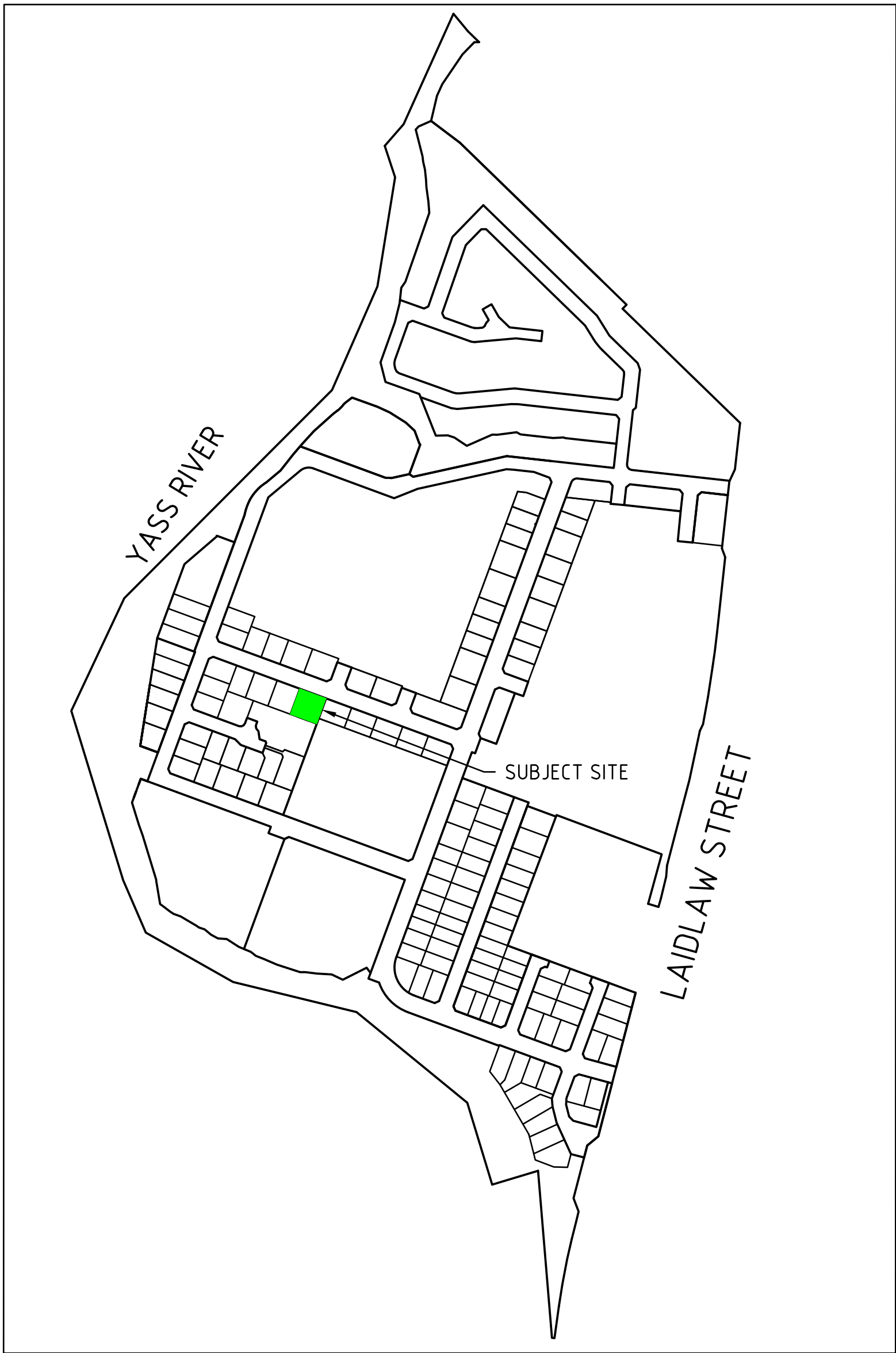
117

LOT DISCLOSURE PLAN - ESTATE LOT

YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN

MAX GFA	556 sqm #1
MINIMUM LANDSCAPE	412 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	52 sqm #2
MINIMUM LANDSCAPE REAR OF BL	206 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 512SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

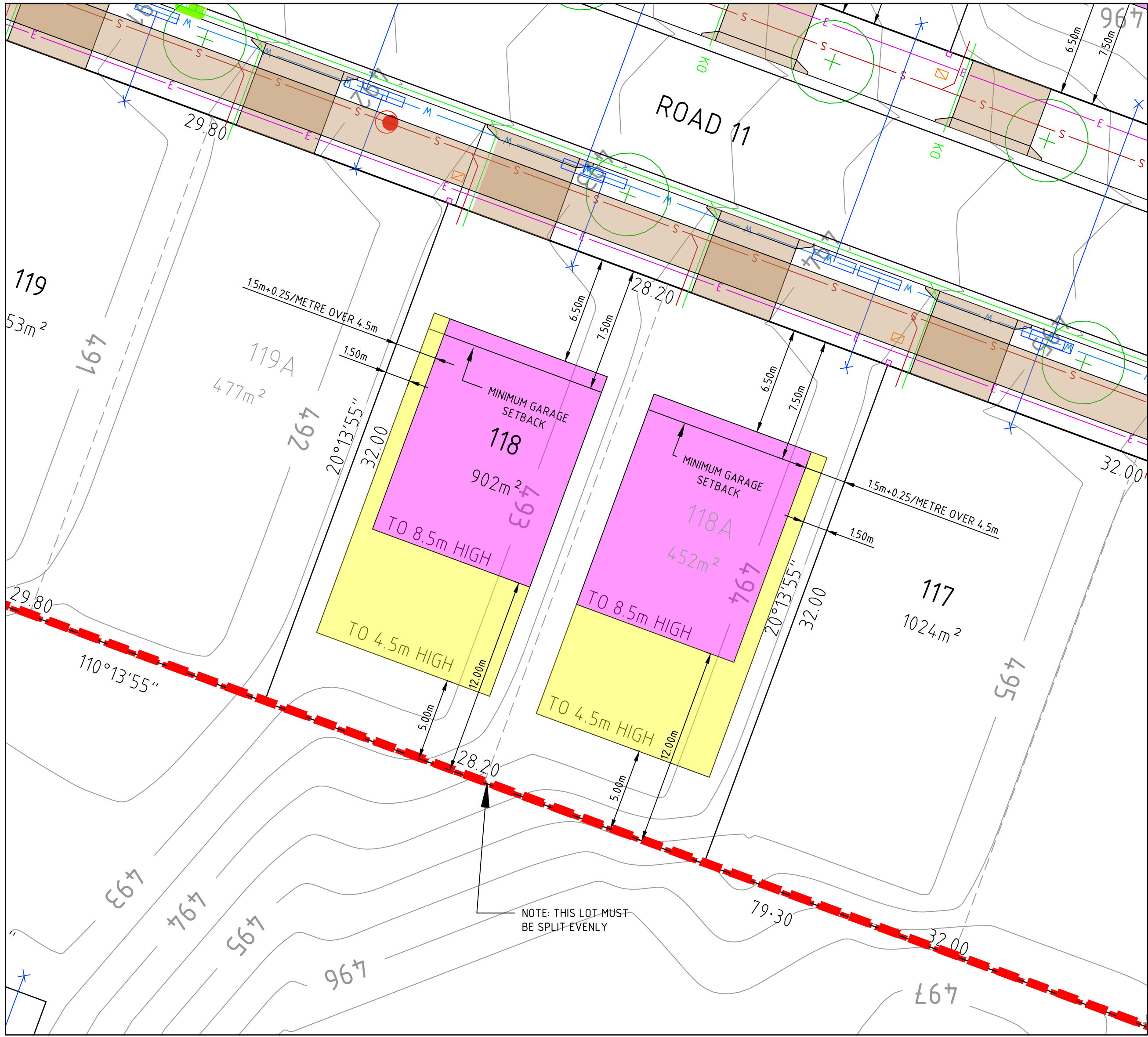
- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

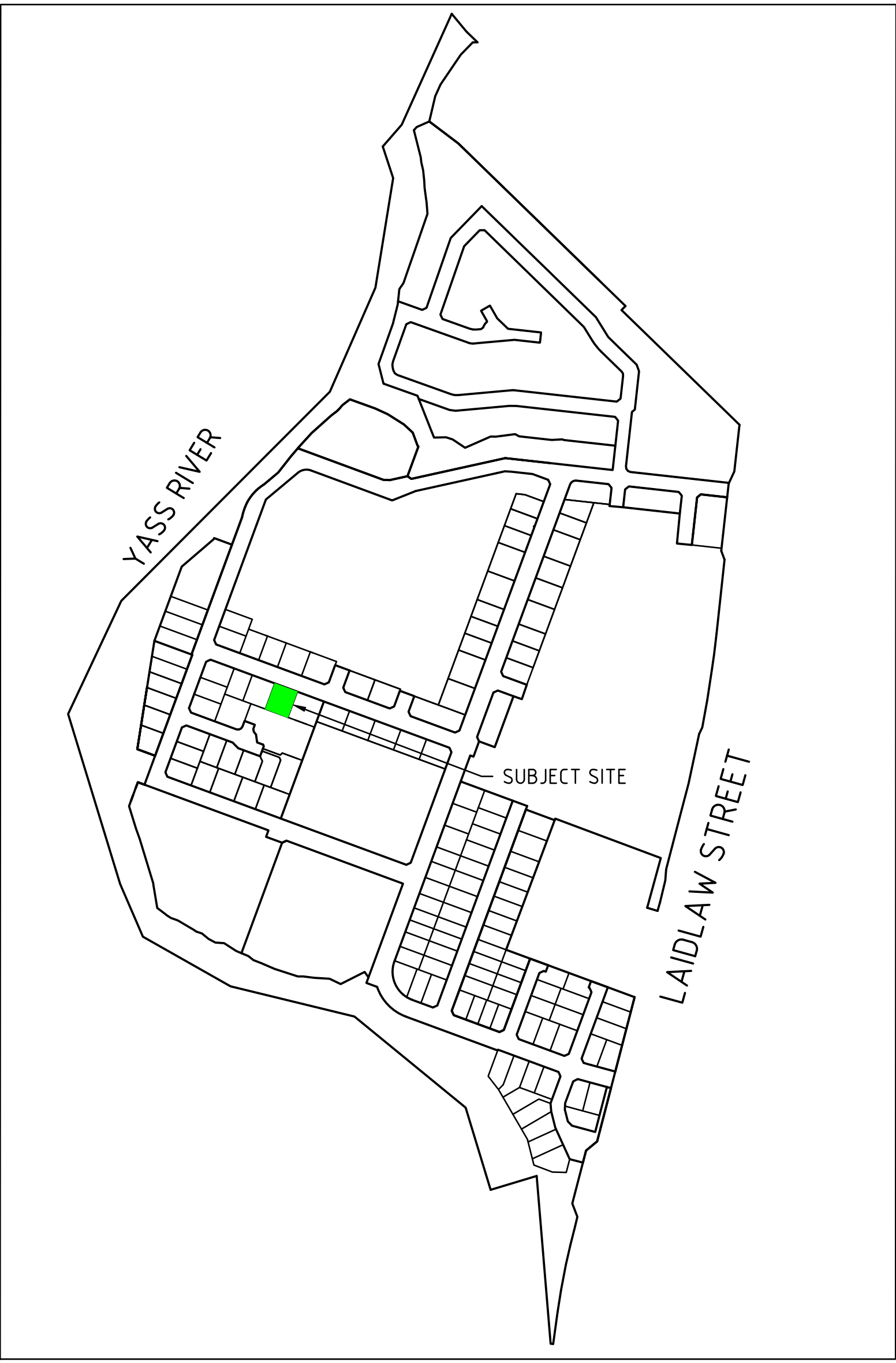
FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

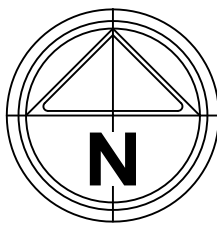
DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)



DETAIL PLAN



LOCALITY PLAN



MAX GFA	526 sqm #1
MINIMUM LANDSCAPE	351 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	46 sqm #2
MINIMUM LANDSCAPE REAR OF BL	176 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 452SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
STREET TREE		PATH (1.5 - 2.4m wide)	
MAX HEIGHT 8.5m		MAX HEIGHT 4.5m	

© SPIIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-0572)

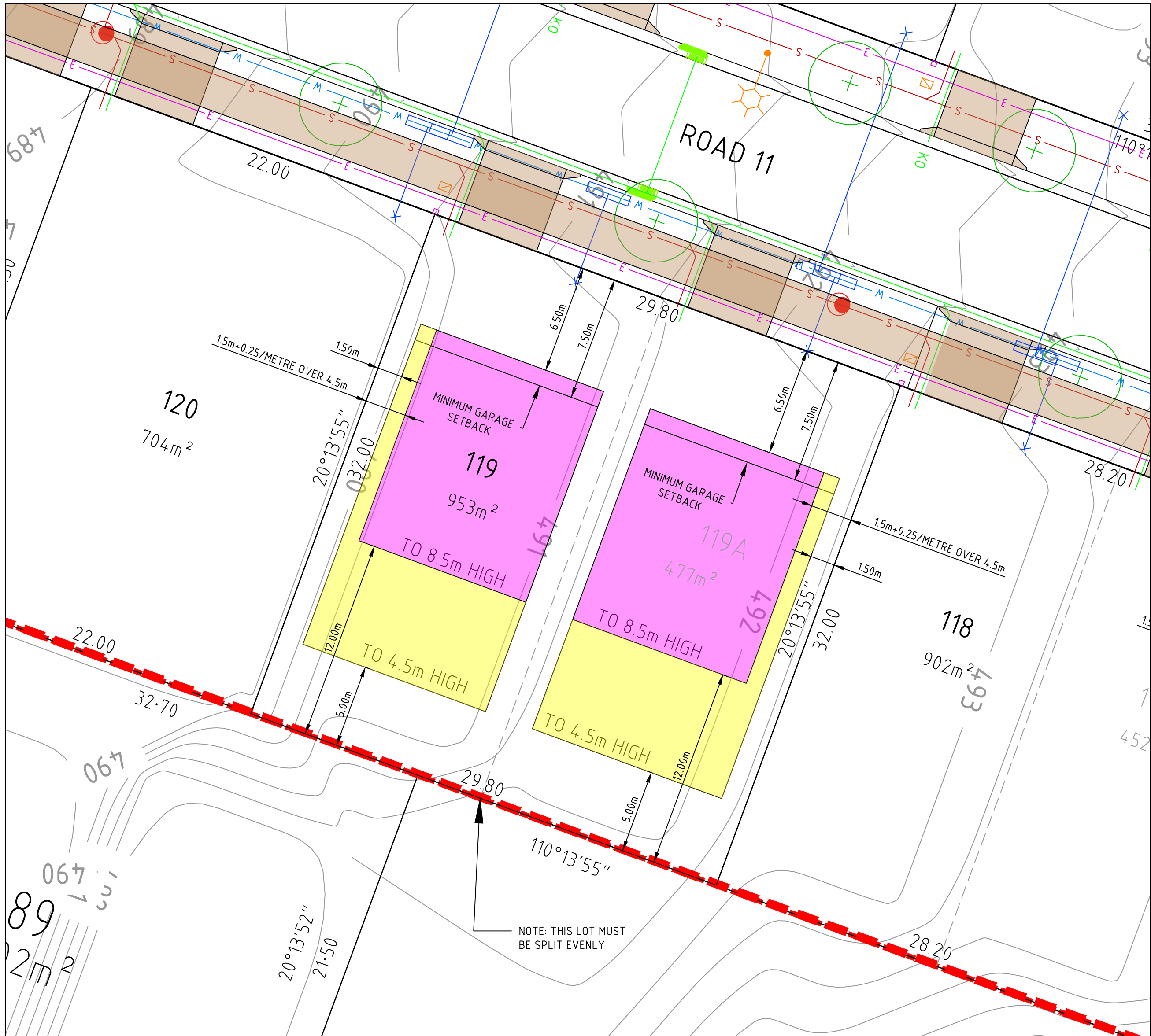
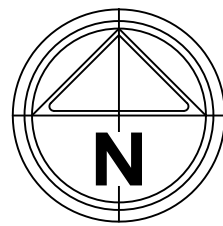
FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)

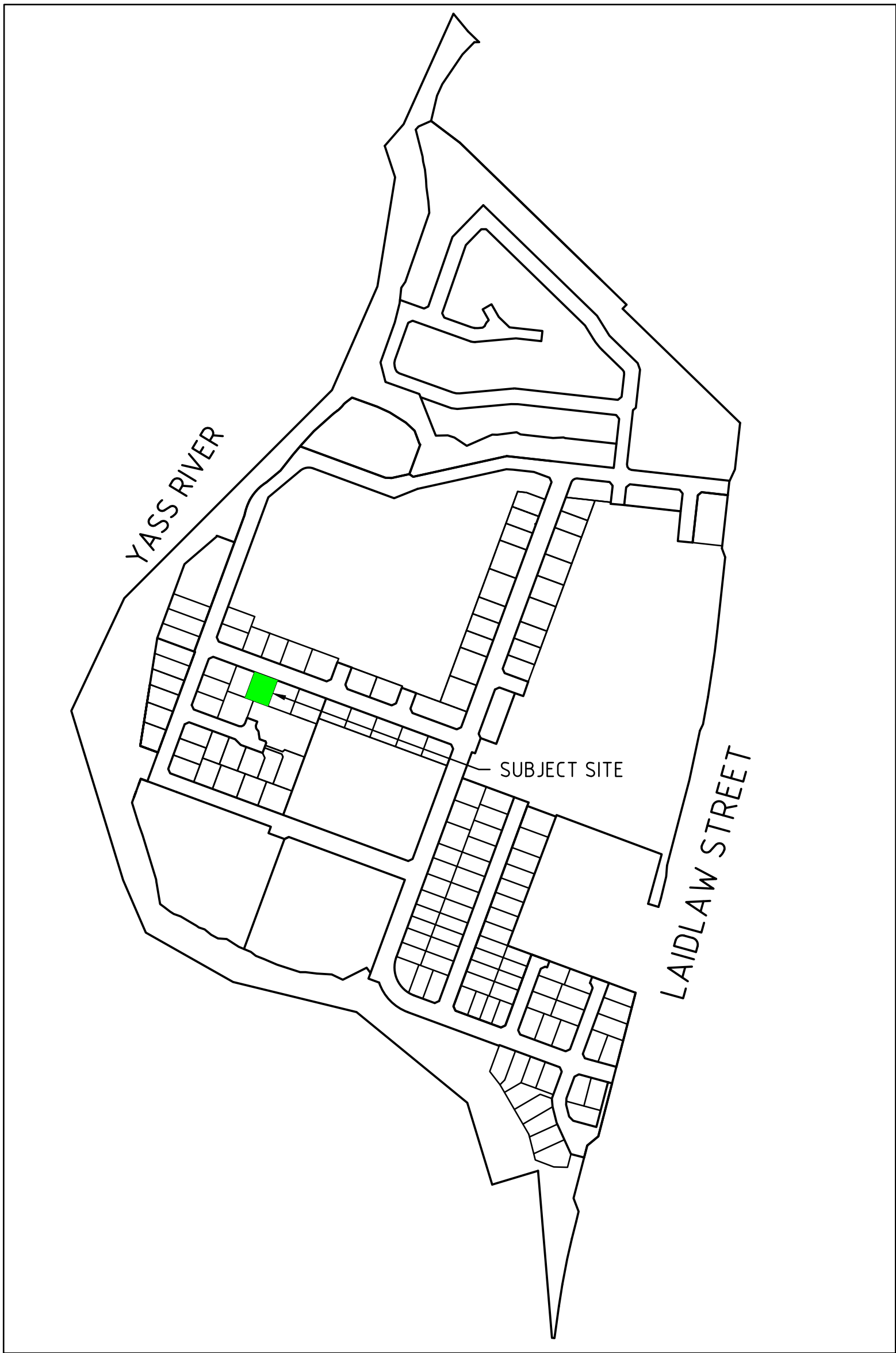


LOT DISCLOSURE PLAN - ESTATE LOT

YARRAH ESTATE



DETAIL PLAN



LOCALITY PLAN

MAX GFA	539 sqm #1
MINIMUM LANDSCAPE	377 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	48 sqm #2
MINIMUM LANDSCAPE REAR OF BL	189 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
#2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
#3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
SEE NOTE 6 BELOW

- ADDITIONAL REQUIREMENTS:
- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
 - BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
 - SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
 - SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
 - UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
 - MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
 - MINIMUM DUPLEXED LOT SIZE IS 477SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
 - DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
 - THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
 - GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
 - ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
 - ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
 - WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
 - A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A DATE 18.02.2022

LEGEND			
LOT BOUNDARY		WATER	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT	
BLOCK BEARING	90°00'00"	SUBSTATION	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	
STORMWATER		NBN PIT	
SEWER		DRIVEWAY LOCATION	
		STREET TREE	
		PATH (1.5 - 2.4m wide)	
		MAX HEIGHT 8.5m	
		MAX HEIGHT 4.5m	

© SPIRE AUSTRALIA PTY LTD ALL RIGHTS RESERVED
THIS DOCUMENT IS PRODUCED BY SPIRE AUSTRALIA PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. SPIRE AUSTRALIA PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT. PLEASE NOTE: THE INFORMATION SHOWN ON DRAWING IS FROM FINAL DESIGN SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).

DISCLAIMER:

- ALL CARE HAS BEEN TAKEN IN THE PREPARATION OF THIS MATERIAL. NO RESPONSIBILITY IS TAKEN BY THE VENDOR FOR ANY ERRORS OR OMISSIONS, AND DETAILS MAY BE SUBJECT TO CHANGE. ARTWORK, IMAGES AND PLANS ARE ARTISTS IMPRESSIONS ONLY AND ARE NOT TO BE RELIED ON AS A DEFINITIVE REFERENCE. ALL ROAD DESIGNS, SERVICES, CONTOURS, LOT SIZES, LOT DIMENSIONS, EASEMENTS AND COVENANTS ARE PRELIMINARY ONLY AND SUBJECT TO FINAL SURVEY AND AUTHORITY APPROVAL. FOR FINAL LOT NUMBERS REFER REGISTERED DEPOSITED PLANS (DP).
- THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER [HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-00572](https://legislation.nsw.gov.au/view/html/inforce/current/epi-2008-00572)

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/the-low-rise-housing-diversity-code)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) [HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY](https://www.planning.nsw.gov.au/policy-and-legislation/housing/low-rise-housing-diversity-code/design-guides-for-low-rise-housing-diversity)