

DETAIL PLAN

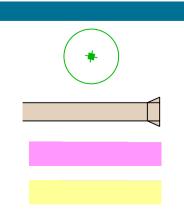
LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
		SERVICES TRENCH		SIRLET IREE
	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●_关-	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			MAX HEIGHT 0.5m
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

	MAX GFA	525 sqm #1
ſ	MINIMUM LANDSCAPE	350 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	34 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	175 sqm #2
	FRONT SETBACK TO BL BUILD LINE	4.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
	DITIONAL REQUIREMENTS:	ST BE SETBACK 15 METRES FROM THE PROPER
		ST BE SETBACK 1.5 METRES FROM THE PROPER
	DUPLEXES ARE NOT TO BE JOINED AND MUS THE TWO DWELLINGS.	
	DUPLEXES ARE NOT TO BE JOINED AND MUS THE TWO DWELLINGS. GFA INCLUDES ALL ENCLOSED FLOORED AR	ST BE SETBACK 1.5 METRES FROM THE PROPERT EAS EXCLUDING GARAGES AND VOIDS TO UPPE INIMUM WIDTH / DEPTH TO COUNT TOWARDS AI
•	DUPLEXES ARE NOT TO BE JOINED AND MUS THE TWO DWELLINGS. GFA INCLUDES ALL ENCLOSED FLOORED AR LANDSCAPE AREAS MUST BE 1.5 METRES M MAXIMUM GARAGE DOOR WIDTH OF 12M AP	EAS EXCLUDING GARAGES AND VOIDS TO UPPE INIMUM WIDTH / DEPTH TO COUNT TOWARDS AI PLIES TO THE PRIMARY FRONTAGE COMBINED FO
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LOCALITY PLAN



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FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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LOT

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

E AND 6.5 METRES WIDE INCLUDING

ONTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

IS 8.5 METRES ABOVE GL.

14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

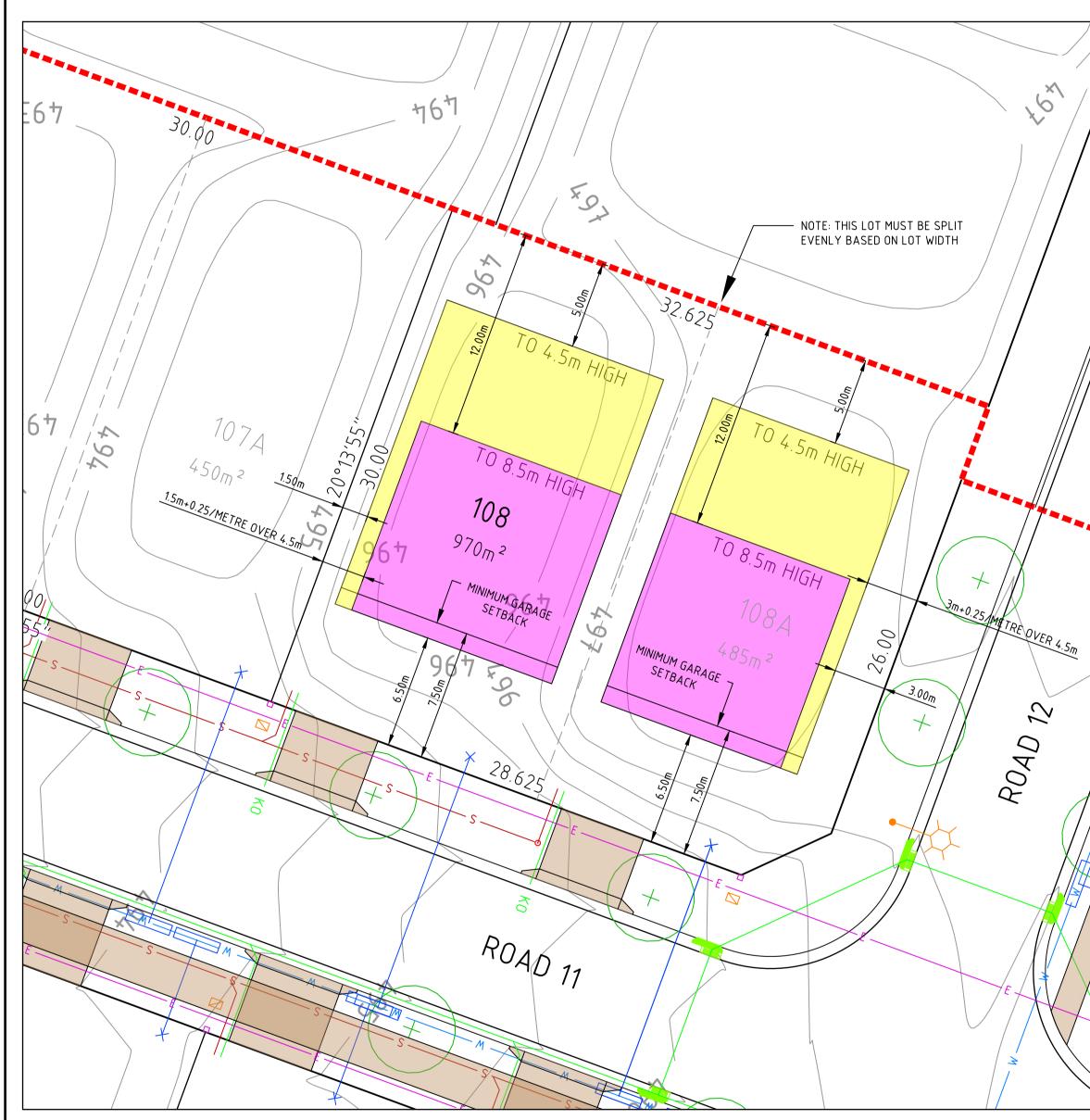
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022





DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	
FINISHED SURFACE	500	SERVICES TRENCH		STREET TREE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY	400m ² 4.54			
LENGTH		STREETLIGHT	● - ≯-	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

	MAX GFA	543 sqm #1
	MINIMUM LANDSCAPE	385 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	47 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	193 sqm #2
	FRONT SETBACK TO BL BUILD LINE	6.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	3 + 0.25M PER METRE ABOVE 6.5
	REAR SETBACK TO 4.5m HIGH	5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	12m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
	#1 MAX GFA IS THE MAXIMUM GFA FOR THE LO	DT (INCLUDES BOTH DWELLINGS)
:	#2 LANDSCAPE AREA MIN REQUIREMENTS ARE	FOR THE LOT (INCLUDES BOTH DWELLINGS)
:	#3 FRONT SETBACK LINE CAN ALSO BE DETER	MINED USING AVERAGED SETBACK
	SEE NOTE 6 BELOW	
٩DD	ITIONAL REQUIREMENTS:	
I.	DUPLEXES ARE NOT TO BE JOINED AND MUS	ST BE SETBACK 1.5 METRES FROM THE PROPERT
	THE TWO DWELLINGS.	
2.	GFA INCLUDES ALL ENCLOSED FLOORED AR	EAS EXCLUDING GARAGES AND VOIDS TO UPPE
8.	LANDSCAPE AREAS MUST BE 1.5 METRES M	INIMUM WIDTH / DEPTH TO COUNT TOWARDS AF
۰.	MAXIMUM GARAGE DOOR WIDTH OF 12M API	PLIES TO THE PRIMARY FRONTAGE COMBINED FO
	GARAGING INTERNALLY OR TO A SECONDA	RY FRONTAGE IS ALLOWABLE.
).	BL 'BUILDING LINE' IS THE ENCLOSED WALL	OF THE HOME CLOSEST TO THE PRIMARY STREE
D.	SETBACKS CAN ALSO BE DETERMINED BY A	VERAGING THE SETBACK TO BL OF THE TWO A
	WITHIN 40 METRES ON THE SAME STREET.	
	SETBACKS ARE TO THE WALL OF THE DWE	LLING. EAVES, SCREENS, UNROOFED AND ROOFE
	PROTRUDE BEYOND THE SETBACK LINE.	
	UP TO 25% OF THE AREA FORWARD OF THE	E FRONT SETBACK CAN INCORPORATE EAVES, SO
	DECKS AND VERANDAHS, WHICH CAN PROT	RUDE UP TO 1.5 METRES FORWARD OF THE BL.
€.	MINIMUM DWELLING WIDTH TO THE PRIMARY	Y FRONTAGE IS 5 METRES WITHOUT A GARAGE A

LOCALITY PLAN

- SUBJECT SITE

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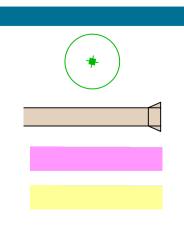
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FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

A GARAGE.

GL.

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)

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LOT 108

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

REET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

FED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING

10. MINIMUM DUPLEXED LOT SIZE IS 485SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES. 11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE

12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.

13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.

14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

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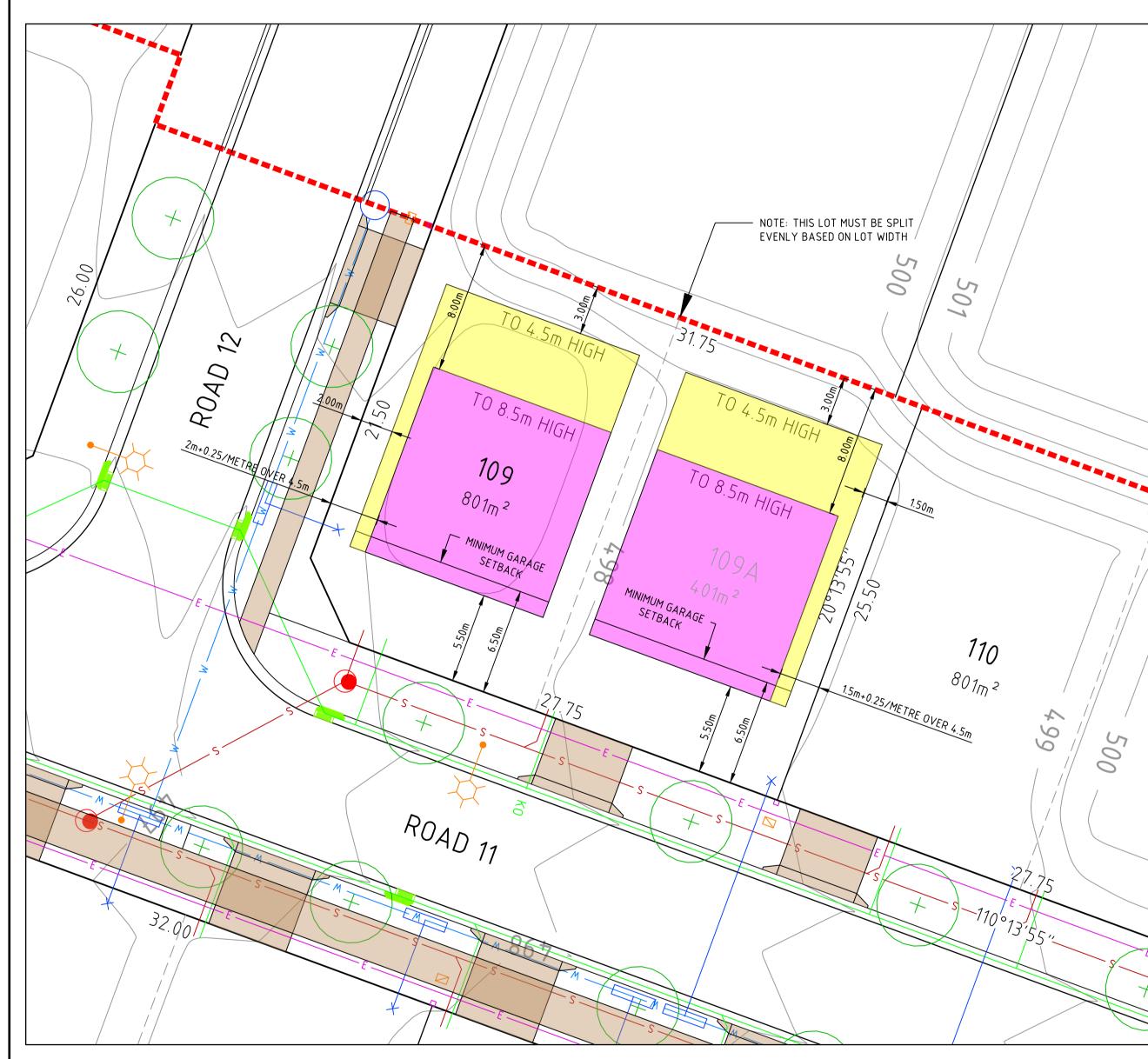
REVISION - A

DATE 18.02.2022

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN

HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE





DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

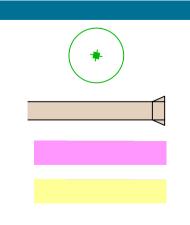
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LOT BOUNDARY		WATER	w	
FINISHED SURFACE		SERVICES TRENCH		STREET TREE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	— ———————————————————————————————————	1 ATT (1.5 - 2.411 wide)
LENGTH		OTTLETEIOTT	• X	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT	_	
SEWER				
	S	DRIVEWAY LOCATION		

	MAX GFA	501 sqm #1
ſ	MINIMUM LANDSCAPE	301 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	38 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	151 sqm #2
	FRONT SETBACK TO BL BUILD LINE	5.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	2m
	SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
	REAR SETBACK TO 4.5m HIGH	Зт
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
	SEE NOTE 6 BELOW NITIONAL REQUIREMENTS: DUPLEXES ARE NOT TO BE JOINED AND MUS	ST BE SETBACK 1.5 METRES FROM THE PRO
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LOCALITY PLAN



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LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

LOT 109

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

PER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

RET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

E AND 6.5 METRES WIDE INCLUDING

NTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

IS 8.5 METRES ABOVE GL.

ES ON CORNER LOTS WHERE THE

SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE. 15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

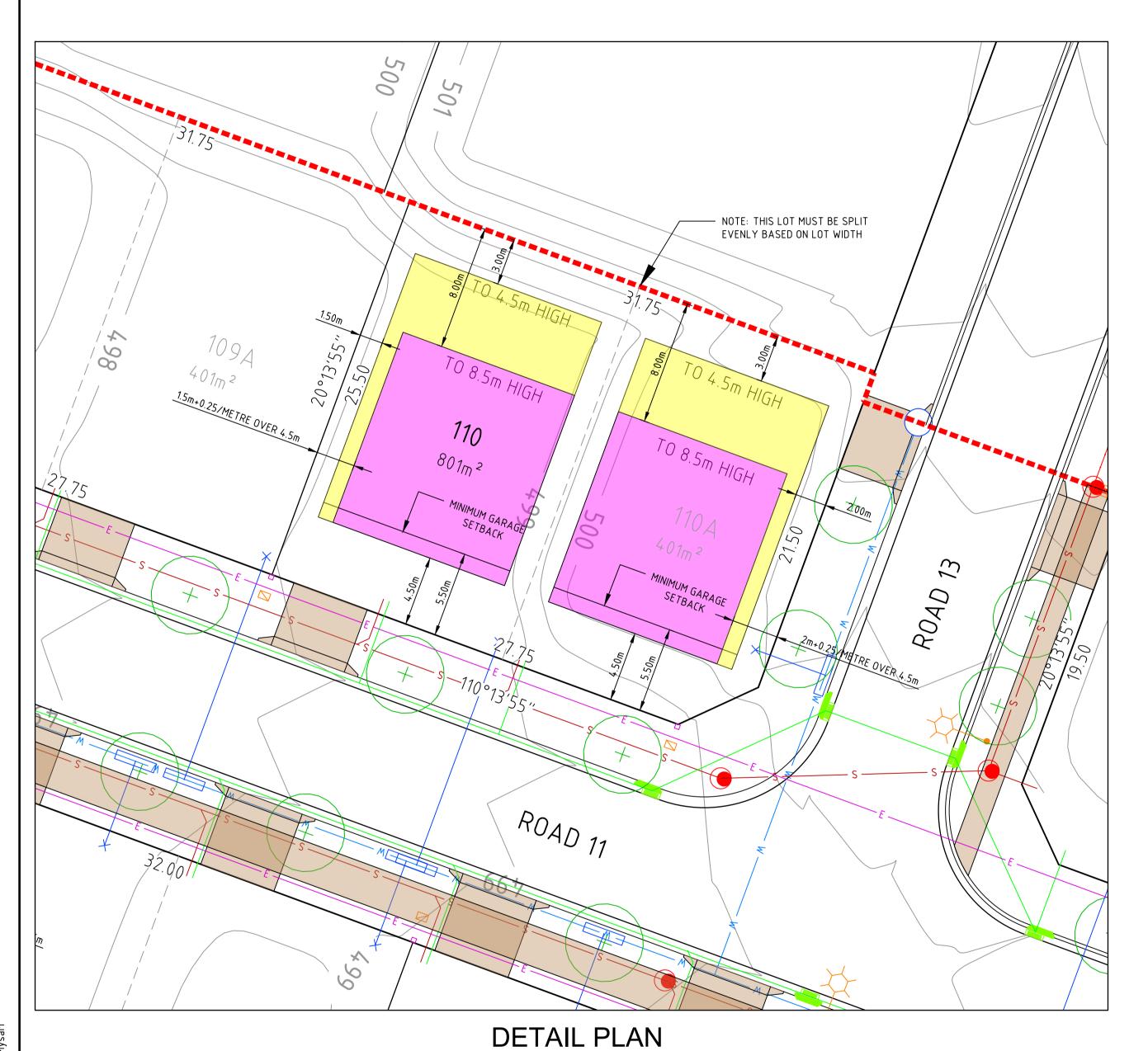
17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN





LOT LAYOUT - SCALE 1:200 (A1)	

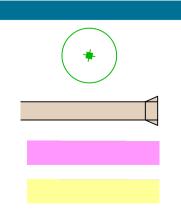
LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)		
	J 7 U		t	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●→★	, , , , , , , , , , , , , , , , , , ,
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	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
D	SEE NOTE 6 BELOW	MINED USING AVERAGED SETBACK
4D[1.	SEE NOTE 6 BELOW DITIONAL REQUIREMENTS:	ST BE SETBACK 1.5 METRES FROM THE PROPERT
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SS RIVER TREE ∽ SUBJECT SITE \mathcal{S} 3 *JDI*

LOCALITY PLAN



NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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LOT 11(

YARRAH ESTATE

- RTY BOUNDARY CREATED BETWEEN
- PER LEVELS.
- AREA REQUIREMENT.
- FOR BOTH DWELLINGS, ADDITIONAL
- RET FRONTAGE.
- ADJACENT DWELLINGS IF THEY ARE
- FED DECKS AND VERANDAHS CAN
- SCREENS, ROOFED AND UNROOFED
- E AND 6.5 METRES WIDE INCLUDING

NTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

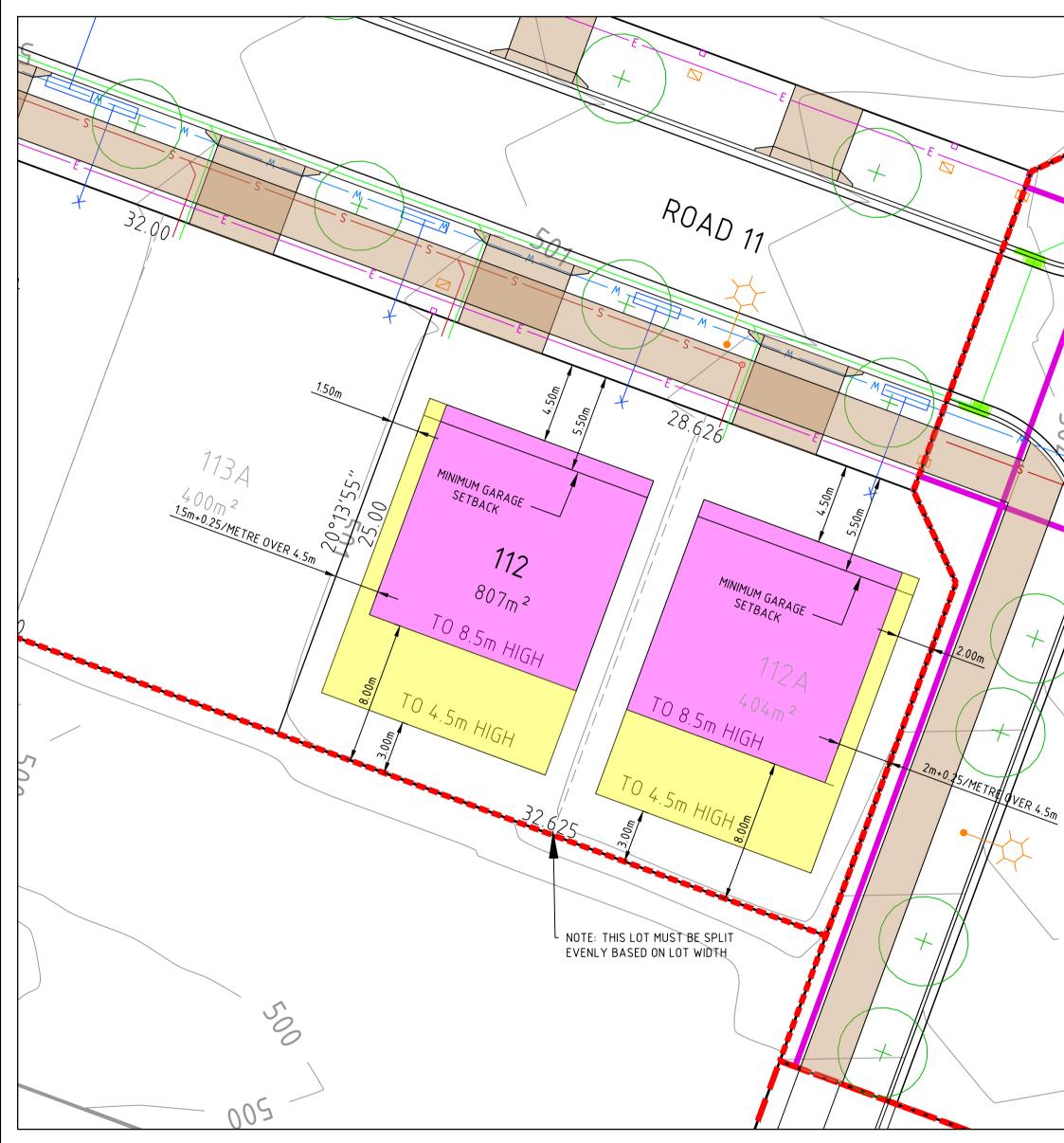
AHS WITH A FLOOR LEVEL MORE THAN

- IS 8.5 METRES ABOVE GL.
- 14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
- 15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
- 16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- 17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022





DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)		
			t	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●───────────────	
ELINGTI		SINCLETEISITI	✓ ×	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
	511			
SEWER	S	DRIVEWAY LOCATION		
		BRIVEWAT LOOATION		

	MAX GFA	502 sqm #1
	MINIMUM LANDSCAPE	304 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	33 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	152 sqm #2
	FRONT SETBACK TO BL BUILD LINE	4.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	2m
	SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
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LOT 112

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

PER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

AND 6.5 METRES WIDE INCLUDING

ONTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

T IS 8.5 METRES ABOVE GL.

ES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

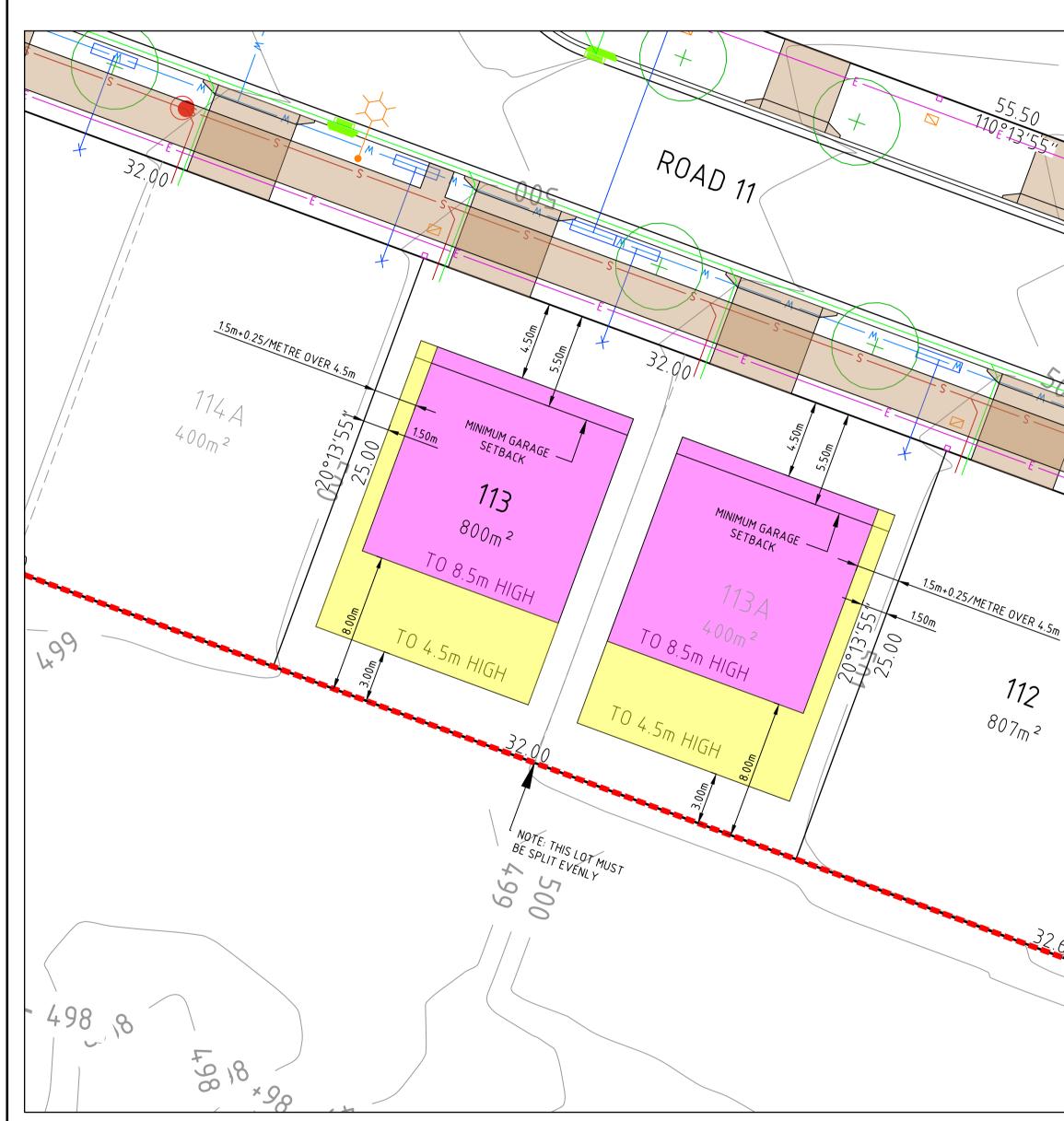
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REVISION - A

DATE 18.02.2022

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DETAIL PLAN

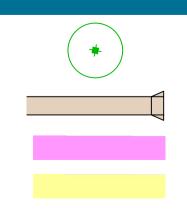
LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)		
х ,		()		PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●───────────────	
LENGTH			✓ ×	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT		
		ELECTRICAL FILLAR / FIL		
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

	MAX GFA	500 sqm #1
	MINIMUM LANDSCAPE	300 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
	FRONT SETBACK TO BL BUILD LINE	4.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
		ST BE SETBALK 1.5 METRES FROM THE PROPER
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LOT 113

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

E AND 6.5 METRES WIDE INCLUDING

ONTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

IS 8.5 METRES ABOVE GL.

ES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

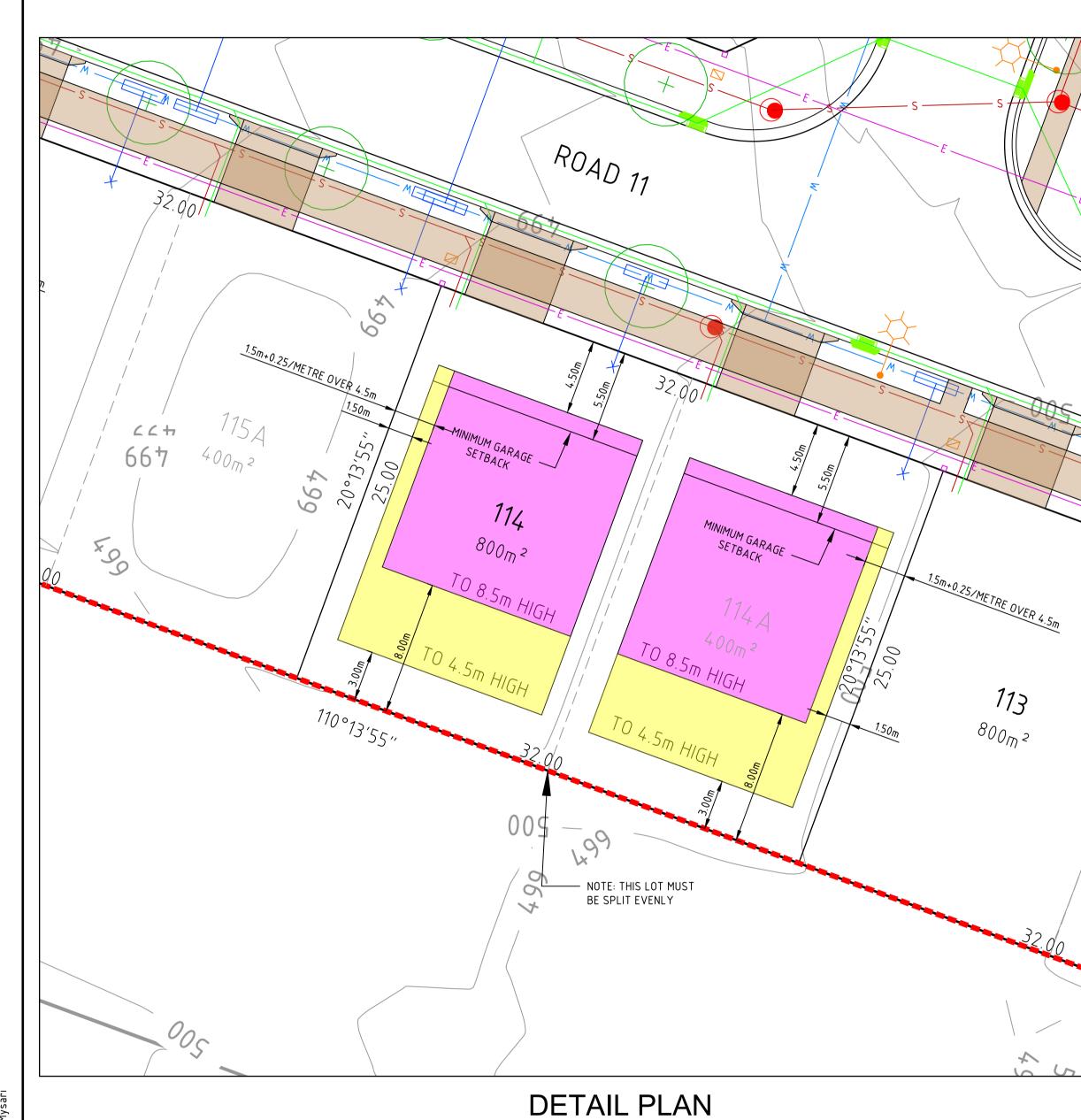
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022





LOT LAYOUT - SCALE 1:200 (A1)

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LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)		
			t	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●─────────────────	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		
	č	DRIVEWAT LOCATION		

	MAX GFA	500 sqm #1
	MINIMUM LANDSCAPE	300 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
	FRONT SETBACK TO BL BUILD LINE	4.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
	THE TWO DWELLINGS.	ST BE SETBACK 1.5 METRES FROM THE PROPER1
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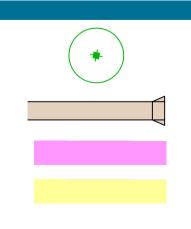
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LOT

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

E AND 6.5 METRES WIDE INCLUDING

ONTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

IS 8.5 METRES ABOVE GL.

NUS MUST FRUNT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE VELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

OOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO YING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF REQUIRED)

REVISION - A

DATE 18.02.2022





OT LAYOUT -	SCALE	1:200	(A1)	
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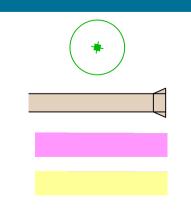
LEGEND				
LOT BOUNDARY		WATER	W	STREET TREE
FINISHED SURFACE		SERVICES TRENCH		STREET TREE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●→★	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
DECOR DEARING	30 00 00	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	_	
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

DETAIL PLAN

	MAX GFA	500 sqm #1
	MINIMUM LANDSCAPE	300 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
	FRONT SETBACK TO BL BUILD LINE	4.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m
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FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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LOT 115

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

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IS 8.5 METRES ABOVE GL.

ES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022





LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	W	STREET TREE
FINISHED SURFACE		SERVICES TRENCH		SIREELIKEE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY	400m ² 4.54			PATH (1.5 - 2.4111 wide)
LENGTH		STREETLIGHT		MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW			
	54	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

	MAX GFA	500 sqm #1
	MINIMUM LANDSCAPE	300 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	44 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
	FRONT SETBACK TO BL BUILD LINE	5.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	Зm
	SIDE SETBACK 4.5m TO 8.5m HIGH	8m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
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LOCALITY PLAN

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LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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DISCLAIMER:

LOT 116

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

SCREENS, ROOFED AND UNROOFED

AND 6.5 METRES WIDE INCLUDING

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AHS WITH A FLOOR LEVEL MORE THAN

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ES ON CORNER LOTS WHERE THE

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

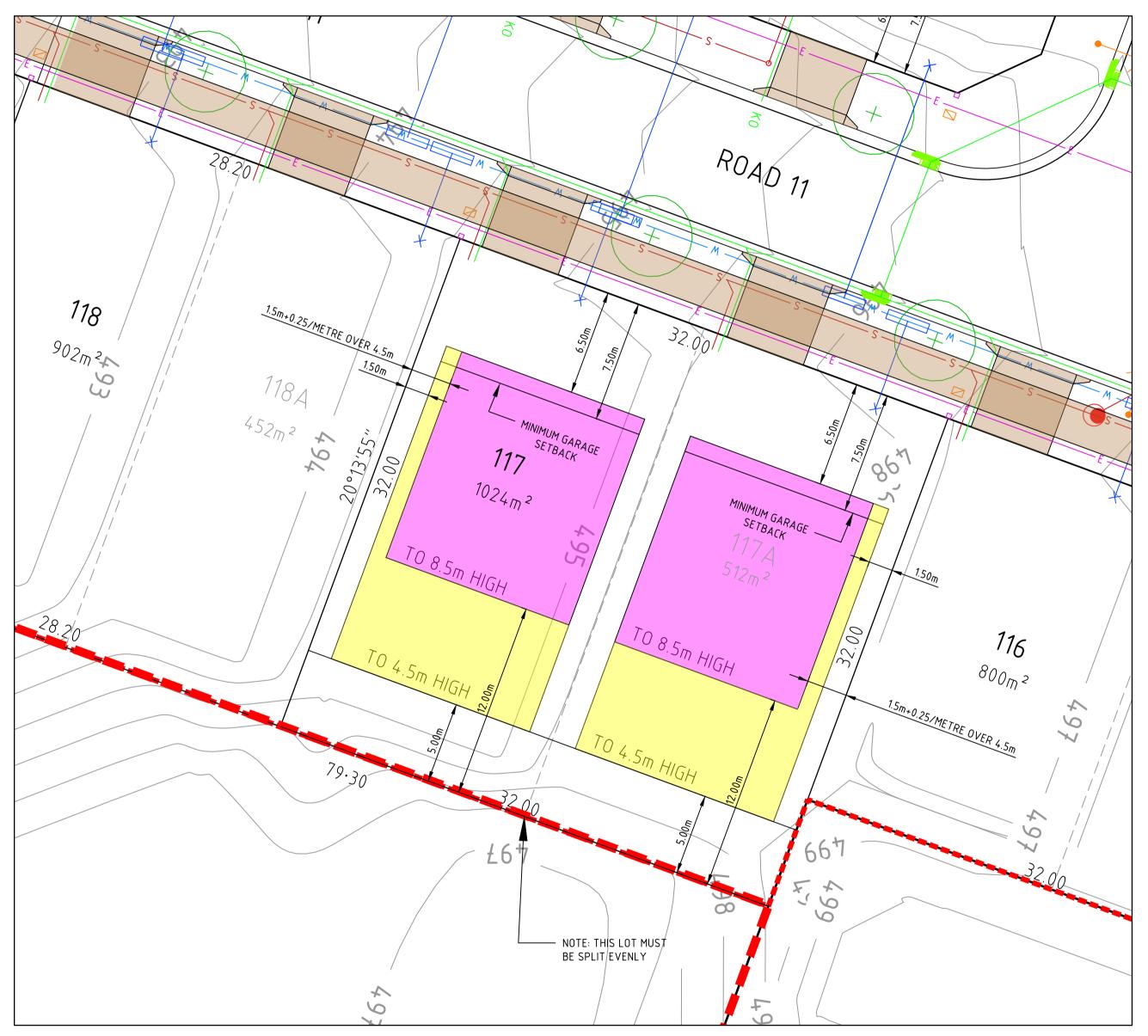
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022



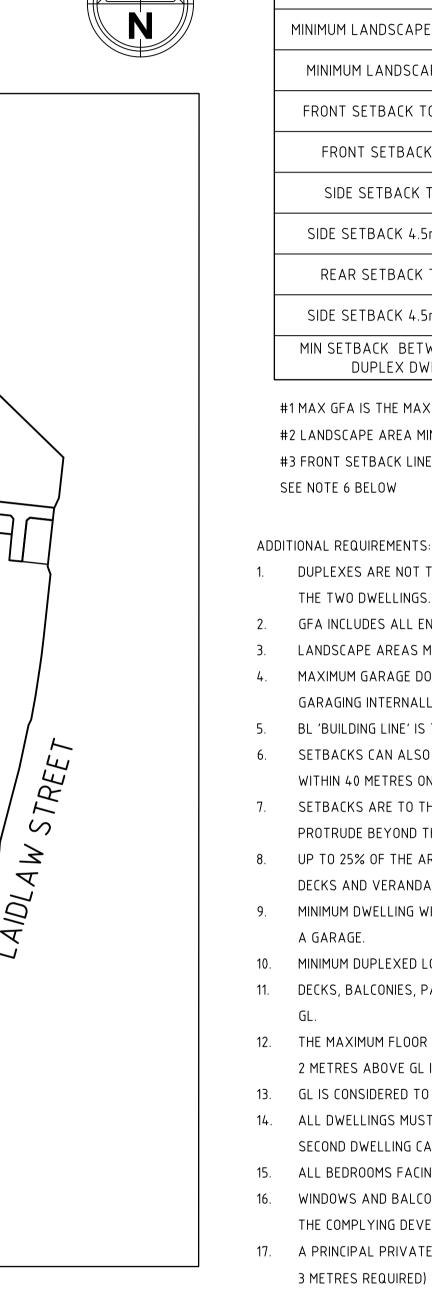


DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

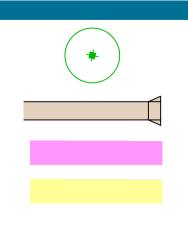
LEGEND				
LOT BOUNDARY		WATER	W	STREET TREE
FINISHED SURFACE		SERVICES TRENCH		SINCET INCE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	● →≻	
LENGTH		STREETLIGHT		MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT	_	
STORMWATER				
OTORMWATER	SW	NBN PIT		
SEWER	C			
	5	DRIVEWAY LOCATION		

MAX GFA	556 sqm #1
MINIMUM LANDSCAPE	412 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	52 sqm #2
MINIMUM LANDSCAPE REAR OF BL	206 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12 m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
THE TWO DWELLINGS.	
	PLIES TO THE PRIMARY FRONTAGE COMBINED FO
GARAGING INTERNALLY OR TO A SECONDA	RY FRONTAGE IS ALLOWABLE.
BL 'BUILDING LINE' IS THE ENCLOSED WALL	OF THE HOME CLOSEST TO THE PRIMARY STREE
SETBACKS CAN ALSO BE DETERMINED BY A	VERAGING THE SETBACK TO BL OF THE TWO A
WITHIN 40 METRES ON THE SAME STREET.	
	LLING. EAVES, SCREENS, UNROOFED AND ROOFE
DECKS AND VERANDAHS WHICH CAN PROT	
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	MINIMUM LANDSCAPE FORWARD OF BL MINIMUM LANDSCAPE REAR OF BL FRONT SETBACK TO BL BUILD LINE FRONT SETBACK TO BL BUILD LINE FRONT SETBACK TO 4.5m HIGH SIDE SETBACK 4.5m TO 8.5m HIGH REAR SETBACK 4.5m TO 8.5m HIGH MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS 1 MAX GFA IS THE MAXIMUM GFA FOR THE LO 2 LANDSCAPE AREA MIN REQUIREMENTS ARE 3 FRONT SETBACK LINE CAN ALSO BE DETER 52 FONT SETBACK LINE CAN ALSO BE DETER 53 FRONT SETBACK LINE CAN ALSO BE DETER 54 INCLUDES ALL ENCLOSED FLOORED AND MUS THE TWO DWELLINGS. GFA INCLUDES ALL ENCLOSED FLOORED AR LANDSCAPE AREAS MUST BE 1.5 METRES M MAXIMUM GARAGE DOOR WIDTH OF 12M API GARAGING INTERNALLY OR TO A SECONDAF BL 'BUILDING LINE' IS THE ENCLOSED WALL SETBACKS CAN ALSO BE DETERMINED BY A WITHIN 40 METRES ON THE SAME STREET.



- SUBJECT SITE

LOCALITY PLAN



NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN LAND AND UNDER CERTAIN CIRCUMSTANCES.

FOR SINGLE DWELLINGS REFER HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)

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LOT

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ER LEVELS.

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AND 6.5 METRES WIDE INCLUDING

NTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN

IS 8.5 METRES ABOVE GL.

14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE

SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

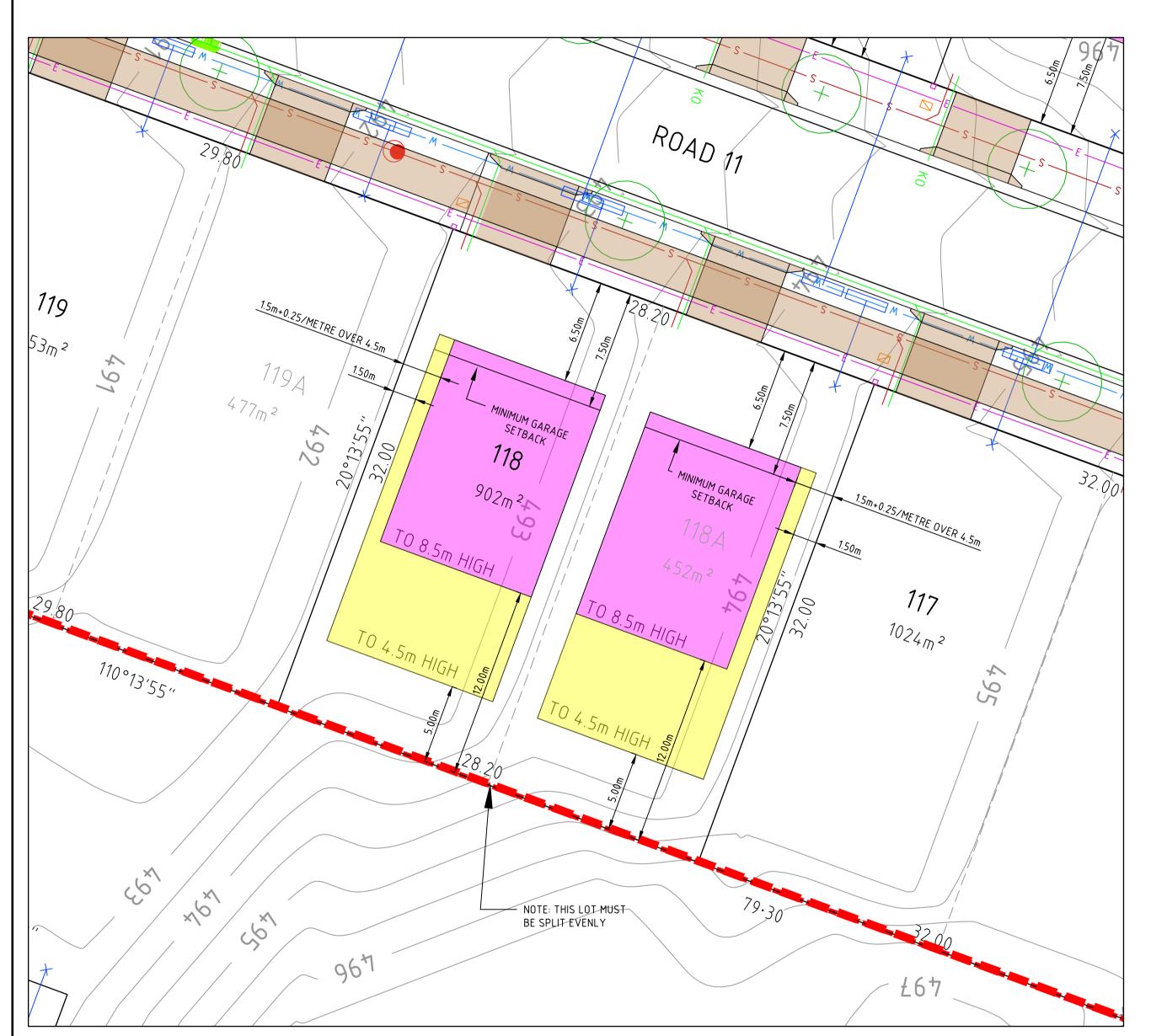
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REVISION - A

DATE 18.02.2022

HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE





DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)		
				PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	●≻	
			• ~	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT		
STORMWATER				
	SW	NBN PIT		
SEWER	<u>S</u>			
		DRIVEWAY LOCATION		

	MAX GFA	526 sqm #1
	MINIMUM LANDSCAPE	351 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	46 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	176 sqm #2
	FRONT SETBACK TO BL BUILD LINE	6.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	12 m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
	DITIONAL REQUIREMENTS:	
	DUPLEXES ARE NOT TO BE JOINED AND MUS	ST BE SETBACK 1.5 METRES FROM THE PROPERT
	THE TWO DWELLINGS.	
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LOCALITY PLAN

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LOT 118

YARRAH ESTATE

RTY BOUNDARY CREATED BETWEEN

ER LEVELS.

AREA REQUIREMENT.

FOR BOTH DWELLINGS, ADDITIONAL

EET FRONTAGE.

ADJACENT DWELLINGS IF THEY ARE

ED DECKS AND VERANDAHS CAN

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E AND 6.5 METRES WIDE INCLUDING

ONTAGE IS 13 METRES. LOOR LEVEL OVER 4 METRES ABOVE

AHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.

13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.

14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

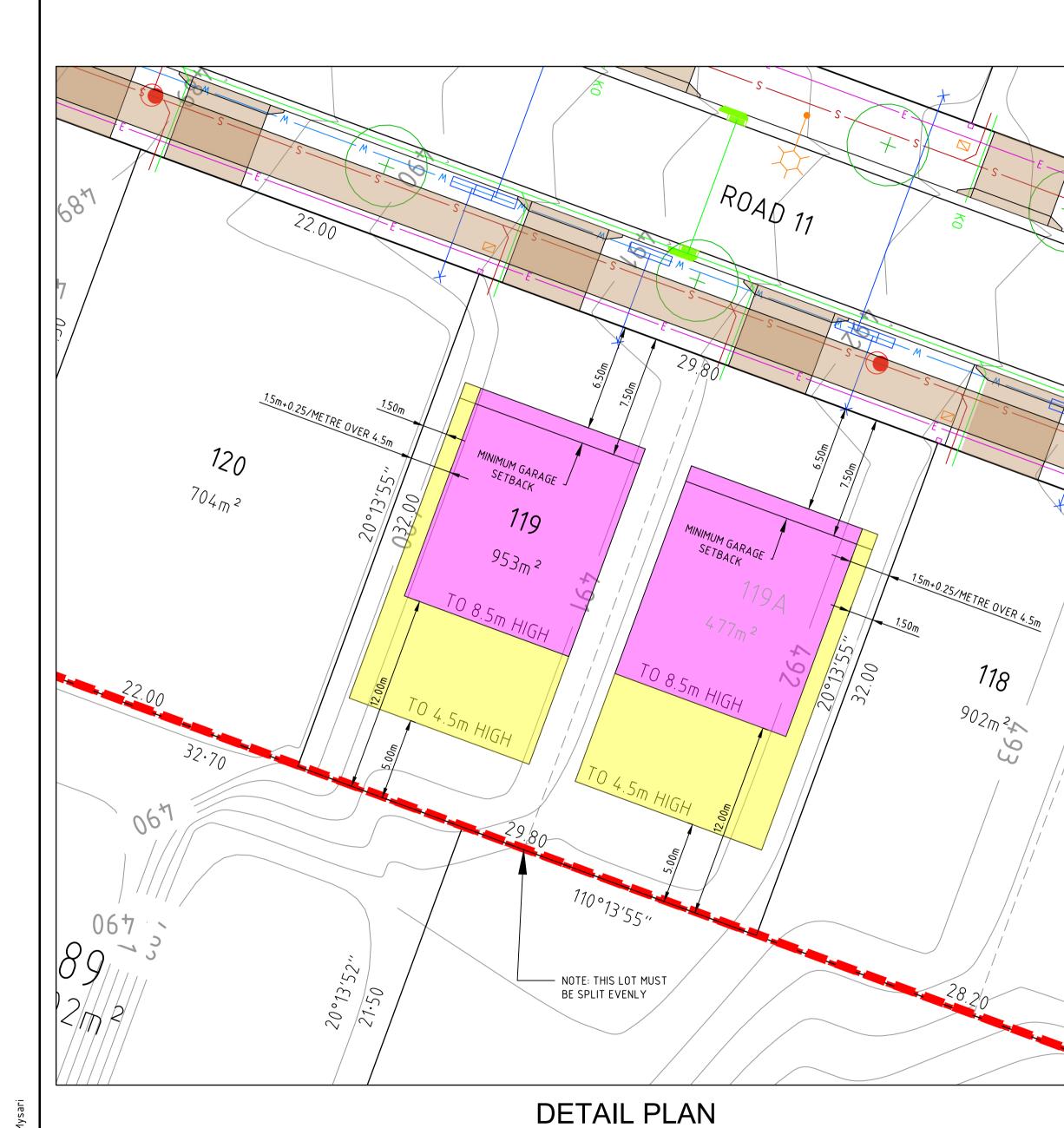
17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022

NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN



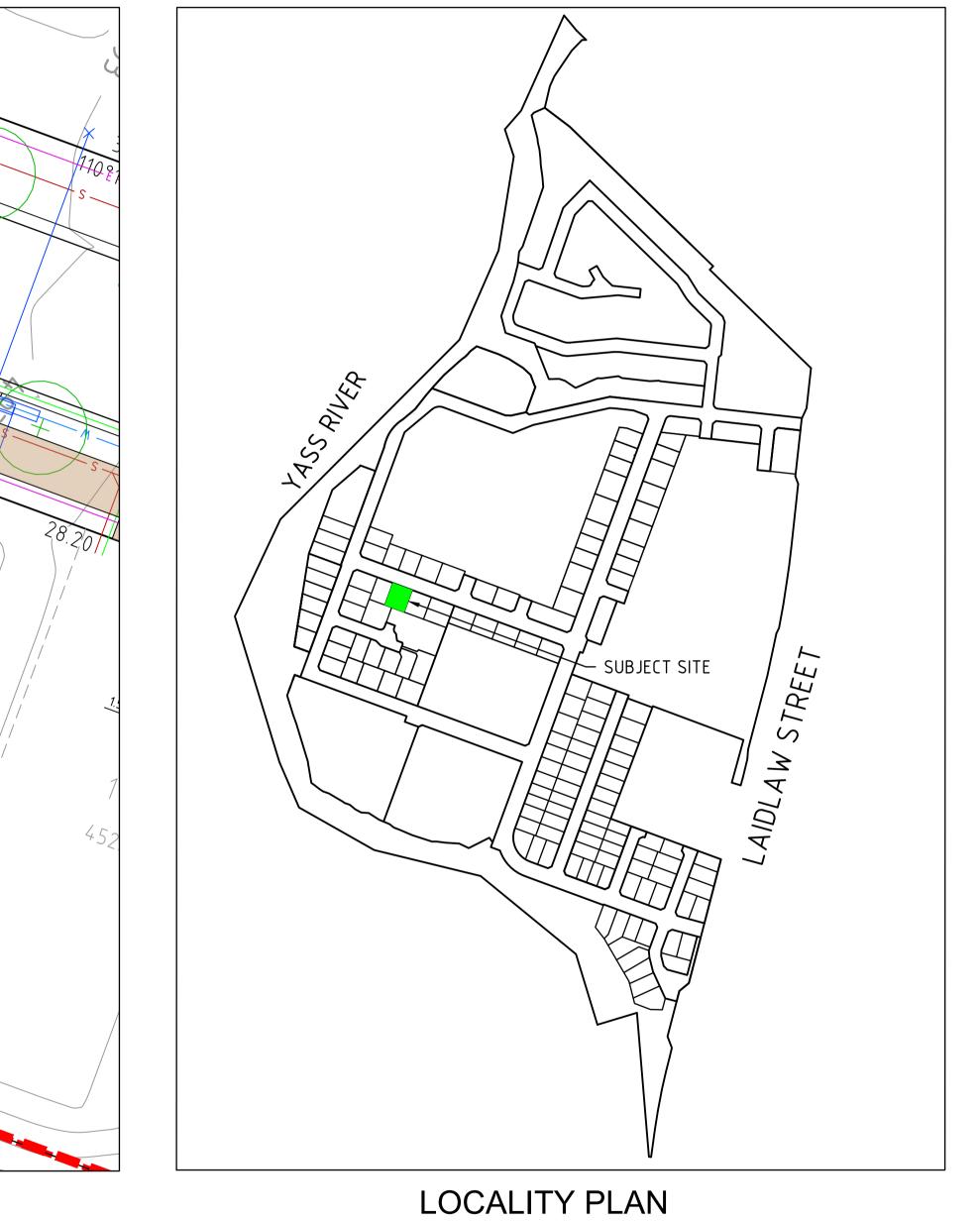


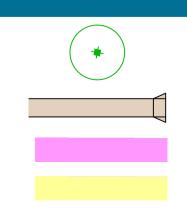
LOT LAYOUT - SCALE 1.200 (A1)

LOT LATOOT - OOALL 1.200 (AT)					
LEGEND					
LOT BOUNDARY		WATER	w	STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	E		
BLOCK AREA / BOUNDARY	400m ² 4.54			PATH (1.5 - 2.4m wide)	
LENGTH	400 111 4.54	STREETLIGHT	● –,	MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION			
FUTURE LOT BOUNDARY		SUBSTATION		MAX HEIGHT 4.5m	
TOTORE LOT DOUNDART		ELECTRICAL PILLAR / PIT			
STORMWATER	SW	NBN PIT			
SEWER					
	S	DRIVEWAY LOCATION			

	MAX GFA	539 sqm #1
	MINIMUM LANDSCAPE	377 sqm #2
	MINIMUM LANDSCAPE FORWARD OF BL	48 sqm #2
	MINIMUM LANDSCAPE REAR OF BL	189 sqm #2
	FRONT SETBACK TO BL BUILD LINE	6.5 m #3
	FRONT SETBACK TO GARAGE	BL + 1m
	SIDE SETBACK TO 4.5m HIGH	1.5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
	REAR SETBACK TO 4.5m HIGH	5m
	SIDE SETBACK 4.5m TO 8.5m HIGH	12 m
	MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	Зm
DD	#3 FRONT SETBACK LINE CAN ALSO BE DETER SEE NOTE 6 BELOW NITIONAL REQUIREMENTS: DUPLEXES ARE NOT TO BE JOINED AND MUS THE TWO DWELLINGS.	
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DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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ES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.

15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.

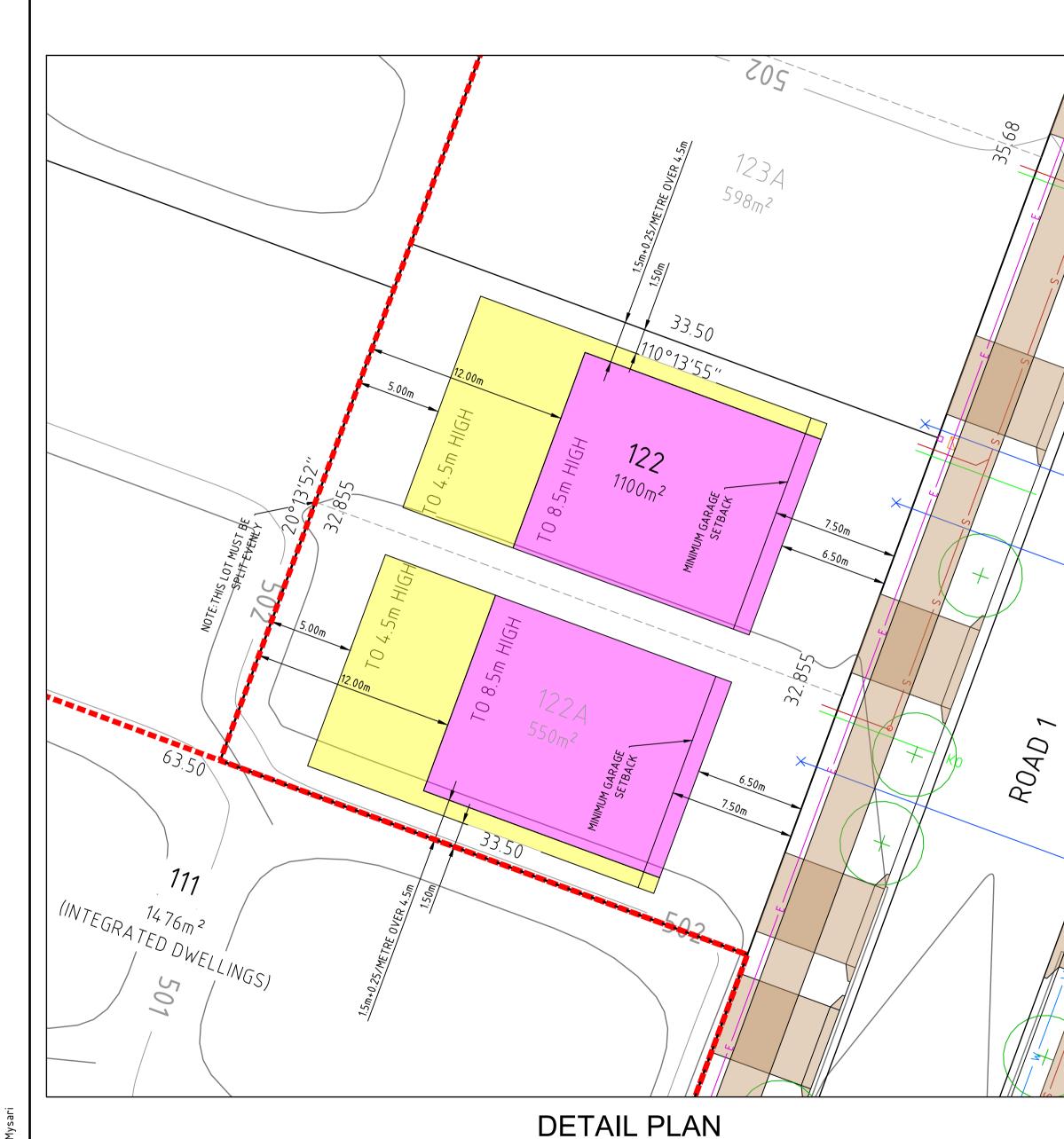
16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.

17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

REVISION - A

DATE 18.02.2022





LENGTH

SEWER

BLOCK BEARING

STORMWATER

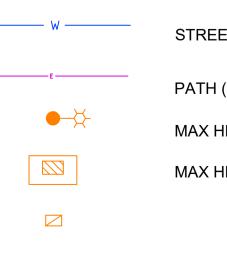
FUTURE LOT BOUNDARY

LEGEND		
LOT BOUNDARY		WATER
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)
BLOCK AREA / BOUNDARY	400m ² 4.54	STREETLIGHT

90°00'00"

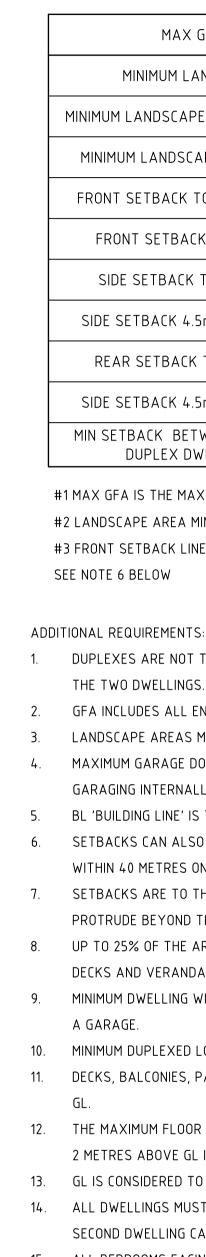
LOT LAYOUT - SCALE 1:200 (A1)

	(Electricity & NBN)
54	STREETLIGHT
	SUBSTATION
	ELECTRICAL PILLAR / PIT
	NBN PIT
	DRIVEWAY LOCATION



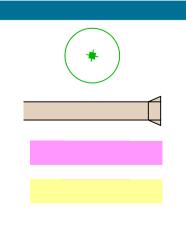
STREET TREE

PATH (1.5 - 2.4m wide) MAX HEIGHT 8.5m MAX HEIGHT 4.5m



3 METRES REQUIRED)





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FOR SINGLE DWELLINGS REFER <u>HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572</u>

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

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LOT 122

YARRAH ESTATE

575 sqm #1
450 sqm #2
54 sqm #2
225 sqm #2
6.5 m #3
BL + 1m
1.5m
1.5 + 0.25M PER METRE ABOVE 4.5
5m
12 m
Зm

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)

- #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
- #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK

- 1. DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
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- 8. UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
- 9. MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING
- 10. MINIMUM DUPLEXED LOT SIZE IS 550SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES. 11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE
- 12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- 13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- 14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
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DATE 24.01.2022

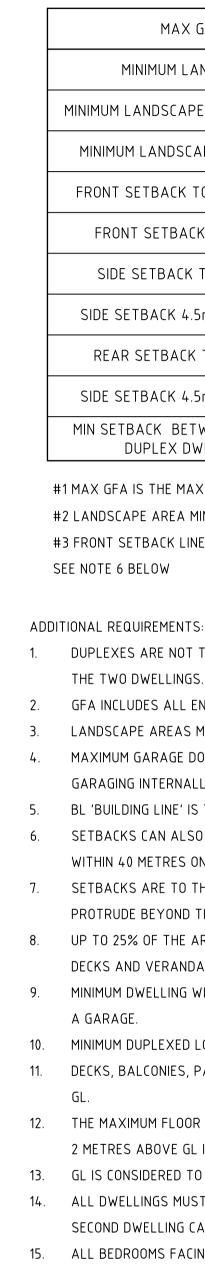
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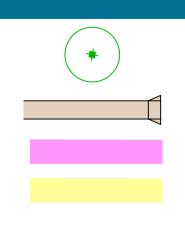


LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE		SERVICES TRENCH		STREET TREE
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	● –关-	
-			• *	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY		CODONATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDART		ELECTRICAL PILLAR / PIT		
STORMWATER	SW			
	Sw	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		







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LOT 123

YARRAH ESTATE

MAX GFA	599 sqm #1
NIMUM LANDSCAPE	496 sqm #2
NDSCAPE FORWARD OF BL	58 sqm #2
LANDSCAPE REAR OF BL	249 sqm #2
TBACK TO BL BUILD LINE	6.5 m #3
SETBACK TO GARAGE	BL + 1m
ETBACK TO 4.5m HIGH	1.5m
BACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
GETBACK TO 4.5m HIGH	5m
BACK 4.5m TO 8.5m HIGH	12 m
ACK BETWEEN DETACHED JPLEX DWELLINGS	Зm

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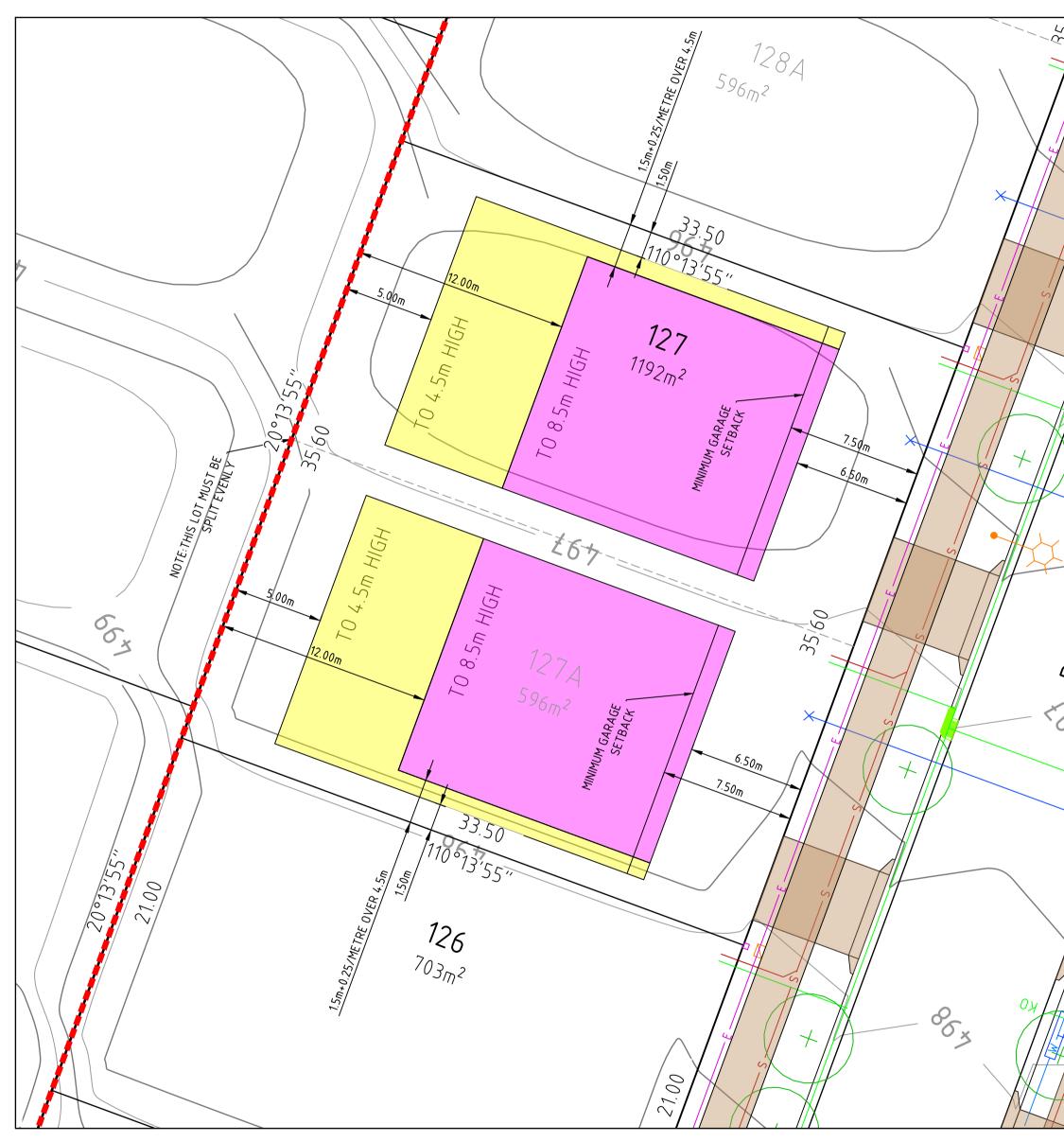
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DATE 24.01.2022

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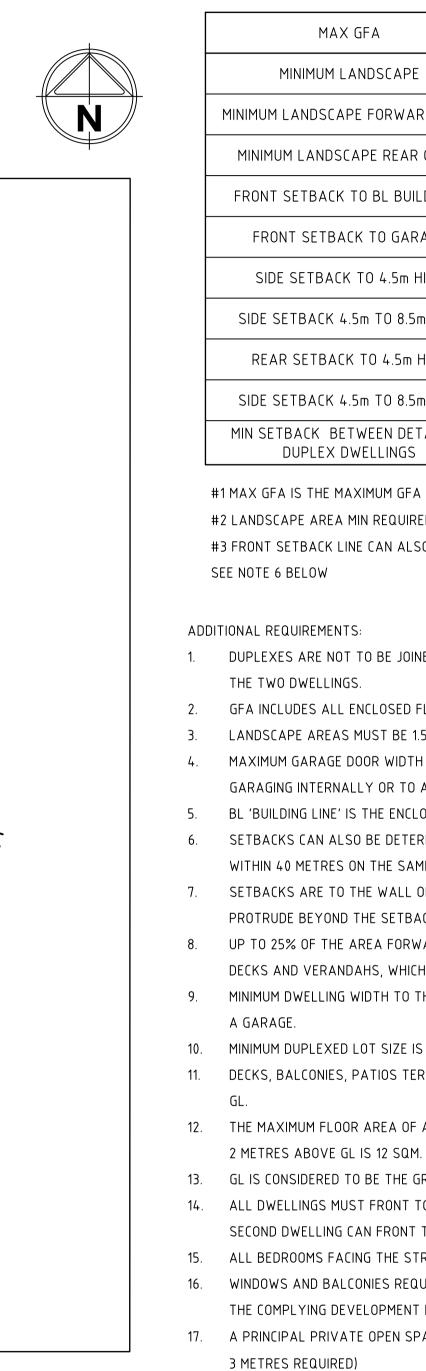


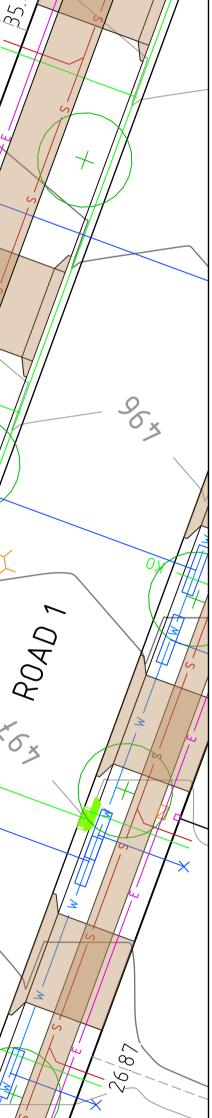


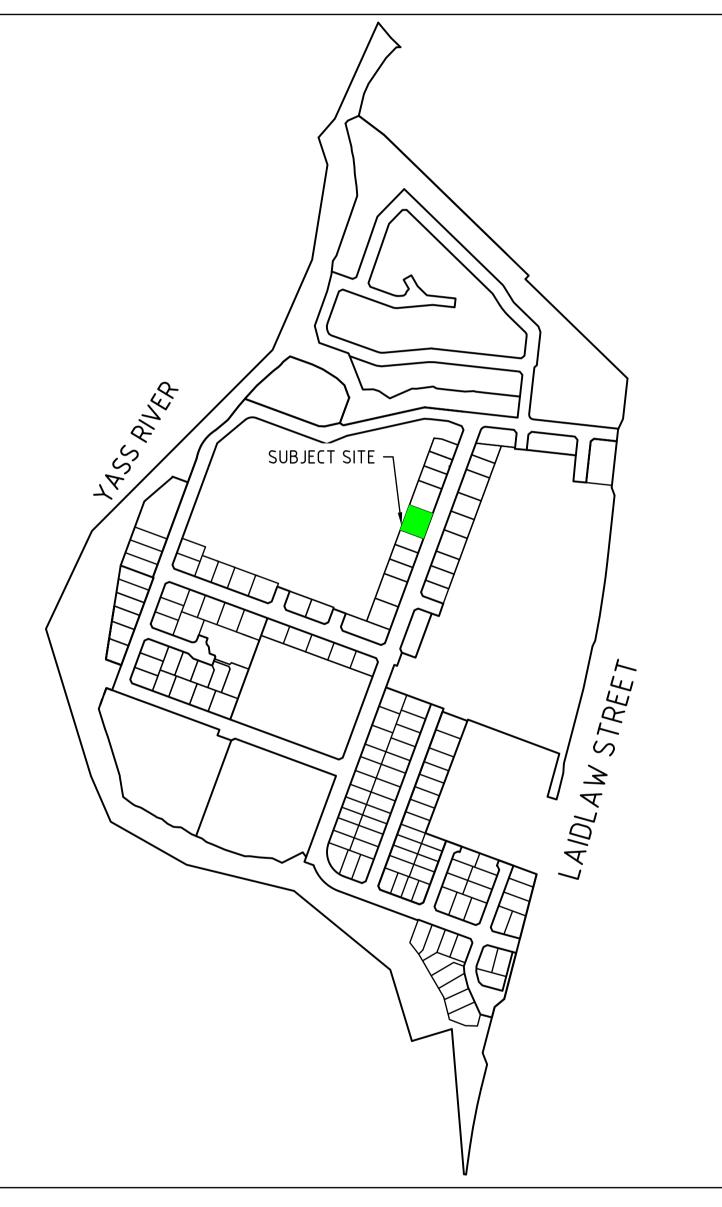
LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)	r	
BLOCK AREA / BOUNDARY	2,70			PATH (1.5 - 2.4m wide)
LENGTH	400m ² 4.54	STREETLIGHT	●≻	
			- //	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW			
	5.	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		

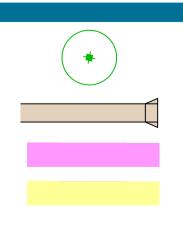
DETAIL PLAN







LOCALITY PLAN



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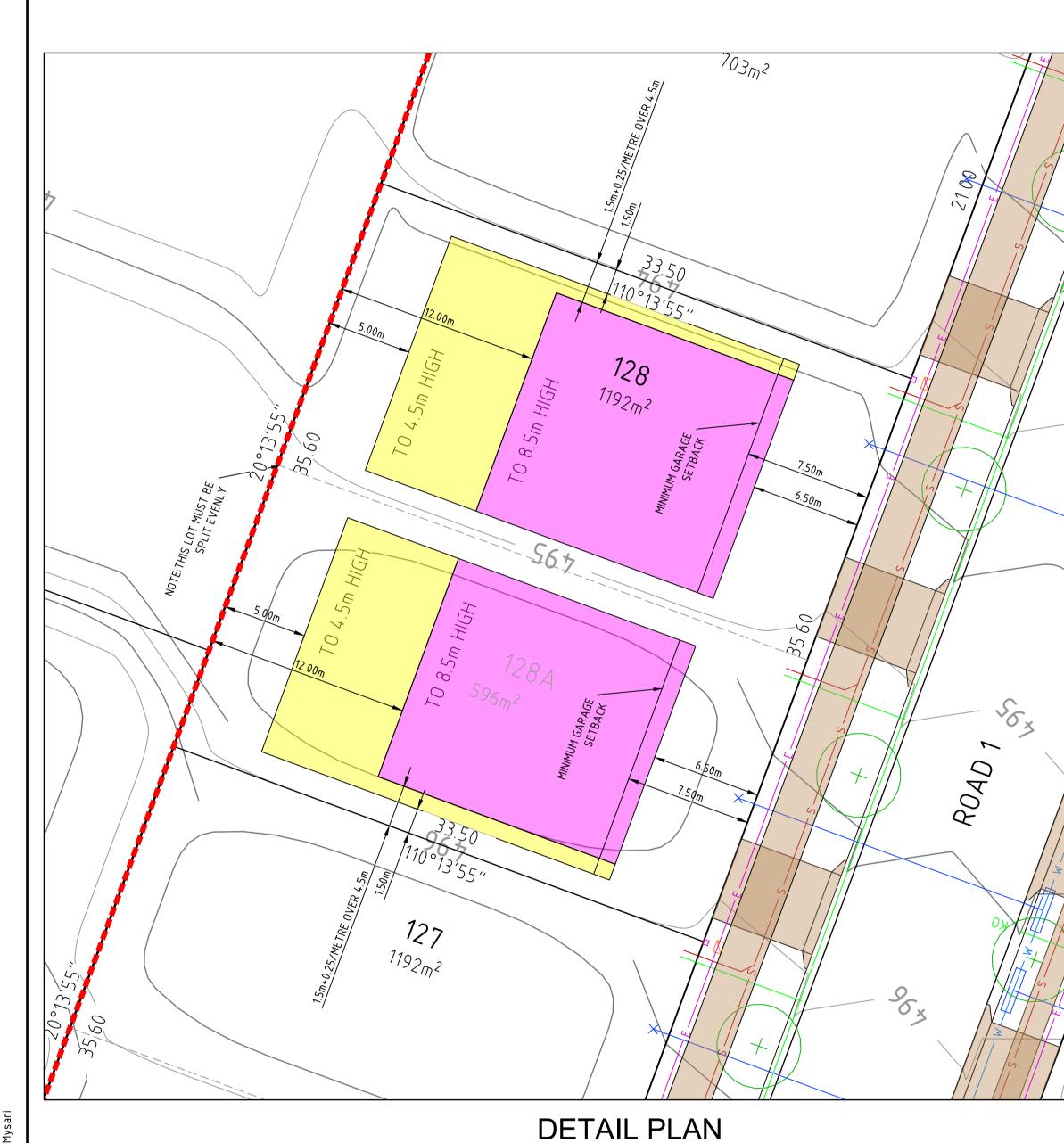
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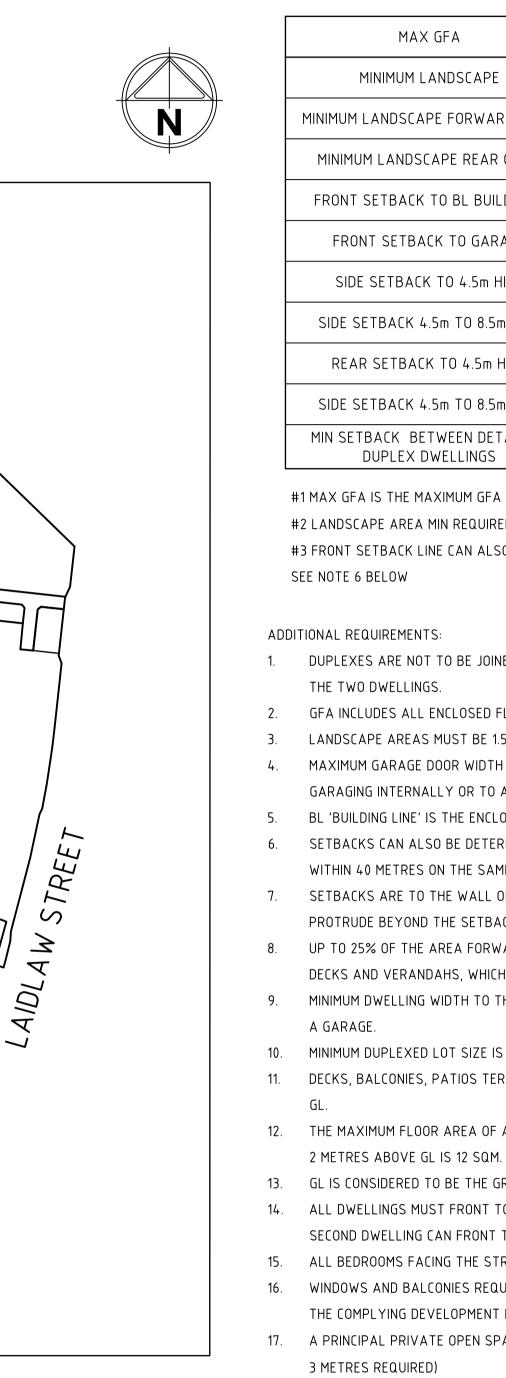
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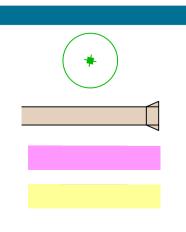


LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	W	STREET TREE
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		
BLOCK AREA / BOUNDARY	400m ² 4.54			PATH (1.5 - 2.4m wide)
LENGTH	400111 4.54	STREETLIGHT	● → <u>></u>	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		
FUTURE LOT BOUNDARY		SUBSTATION		MAX HEIGHT 4.5m
TOTORE LOT BOUNDART		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER				
OLVILIN	S	DRIVEWAY LOCATION		



LOCALITY PLAN



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FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU)

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LOT 128

YARRAH ESTATE

598 sqm #1
496 sqm #2
58 sqm #2
248 sqm #2
6.5 m #3
BL + 1m
1.5m
1.5 + 0.25M PER METRE ABOVE 4.5
5m
12 m
Зm

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)

- #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
- #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK

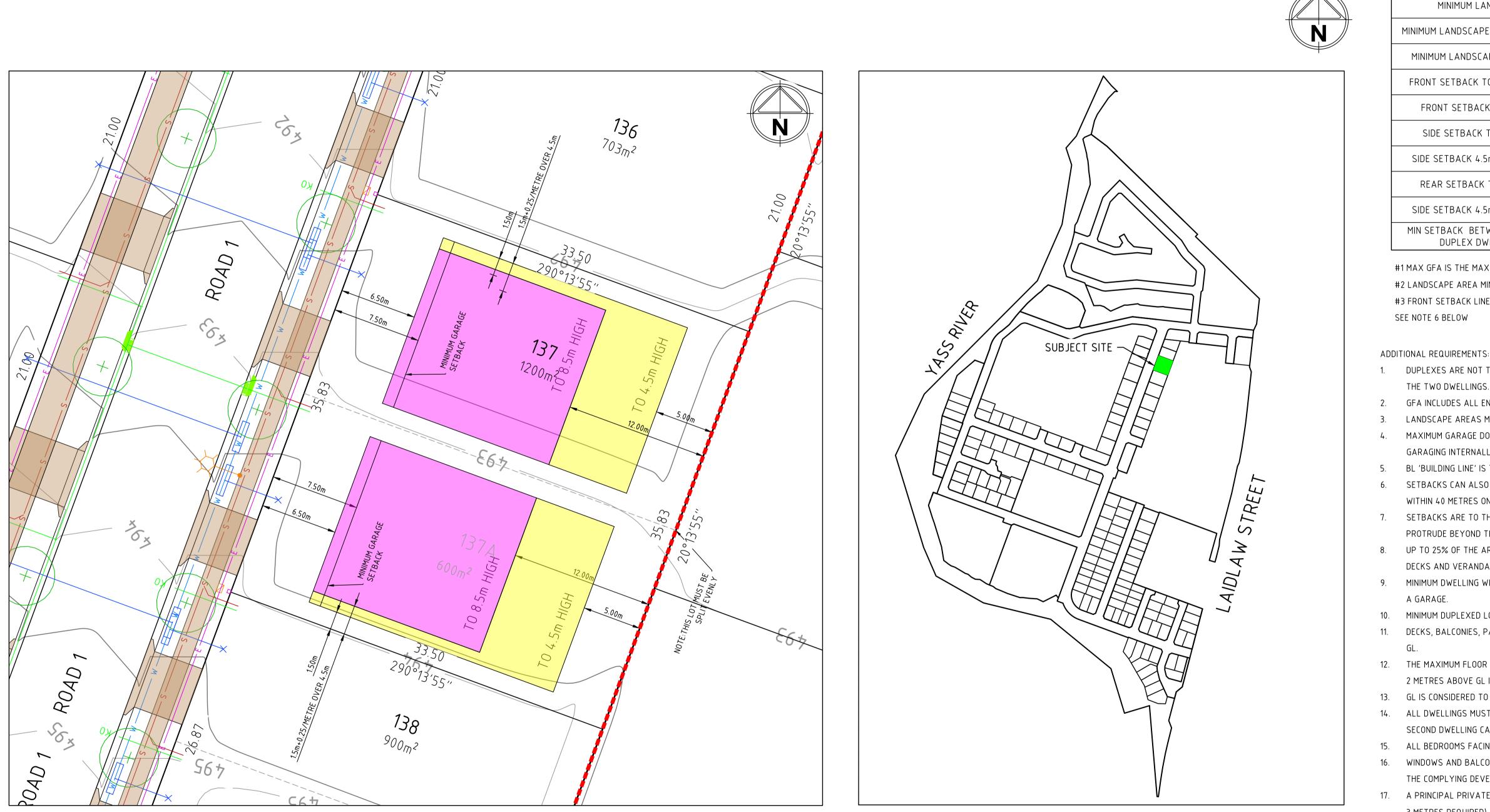
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- HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/THE-LOW-RISE-HOUSING-DIVERSITY-CODE
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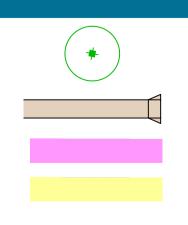


LOT LAYOUT - SCALE 1:200 (A1)	

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	590	SERVICES TRENCH (Electricity & NBN)	F	
		(,	-	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	● → <u>></u> -	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
BLOCK BEAKING	90 00 00	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	C L I			
	SW	NBN PIT		
SEWER	c			
	5	DRIVEWAY LOCATION		

DETAIL PLAN

LOCALITY PLAN



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LOT 3

YARRAH ESTATE

MAX GFA	600 sqm #1
NIMUM LANDSCAPE	500 sqm #2
NDSCAPE FORWARD OF BL	59 sqm #2
LANDSCAPE REAR OF BL	250 sqm #2
TBACK TO BL BUILD LINE	6.5 m #3
SETBACK TO GARAGE	BL + 1m
ETBACK TO 4.5m HIGH	1.5m
BACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
GETBACK TO 4.5m HIGH	5m
BACK 4.5m TO 8.5m HIGH	12 m
ACK BETWEEN DETACHED JPLEX DWELLINGS	Зm

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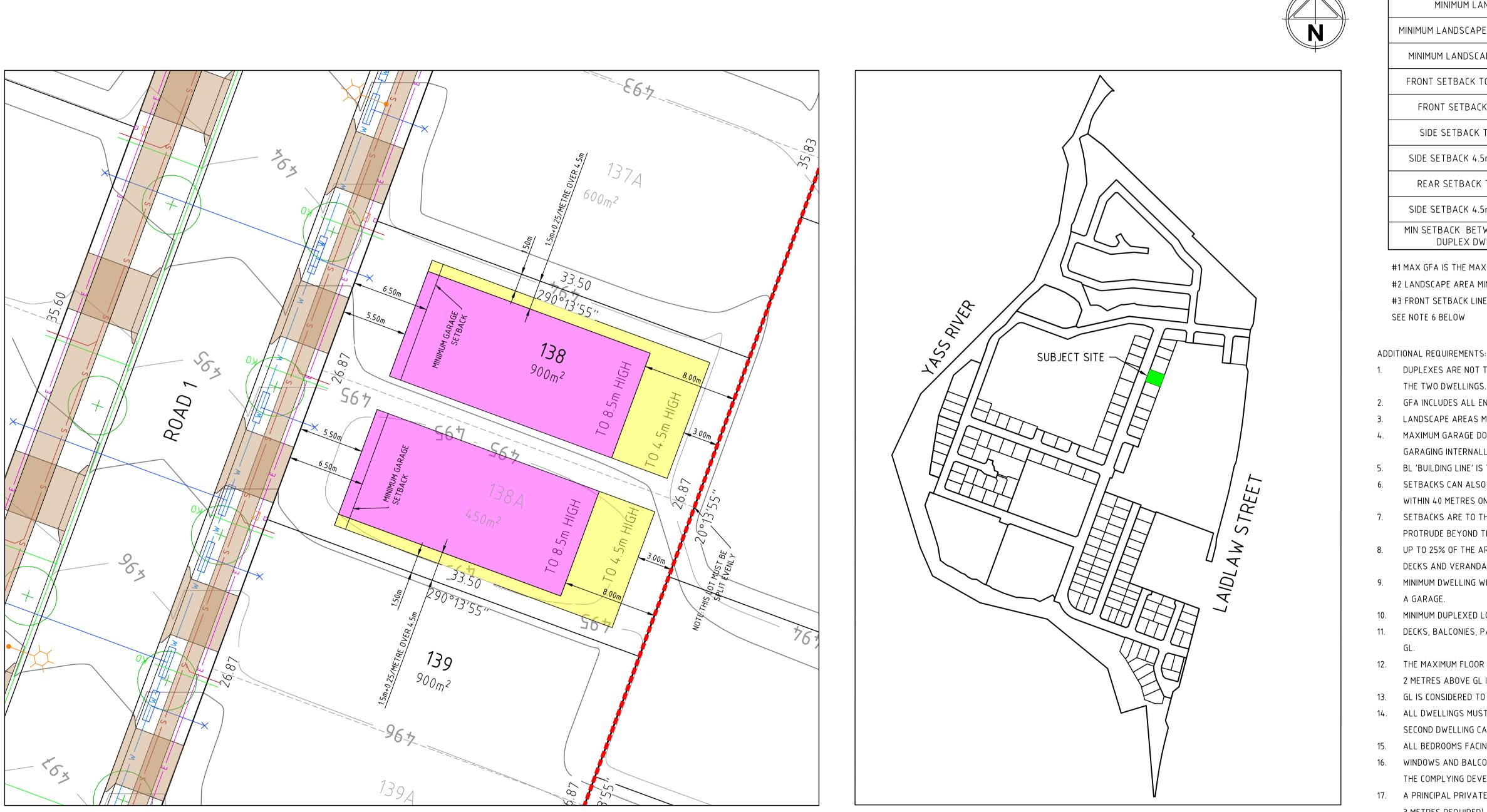
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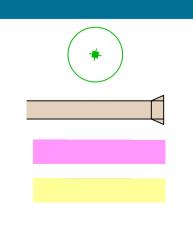


DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	w	STREET TREE
FINISHED SURFACE CONTOURS (1m)	59()	SERVICES TRENCH (Electricity & NBN)		
BLOCK AREA / BOUNDARY			t	PATH (1.5 - 2.4m wide)
LENGTH	400m ² 4.54	STREETLIGHT	— ———————————————————————————————————	
	00800100		- //	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER				
	S	DRIVEWAY LOCATION		
			· ·	

LOCALITY PLAN



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LOT 138

YARRAH ESTATE

525 sqm #1
350 sqm #2
37 sqm #2
175 sqm #2
5.5 m #3
BL + 1m
1.5m
1.5 + 0.25M PER METRE ABOVE 4.5
Зm
8m
Зm

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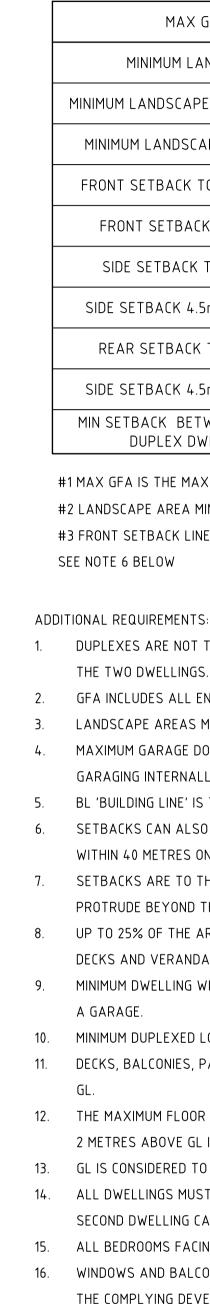
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LOT LAYOUT - SCALE 1:200 (A1)

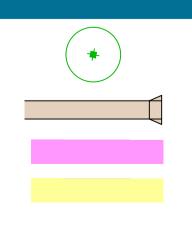
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LENGTH		STREETEISTT		MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	SW	NBN PIT		
SEWER	S	DRIVEWAY LOCATION		



3 METRES REQUIRED)



SUBJECT SITE



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175 sqm #2
4.5 m #3
BL + 1m
1.5m
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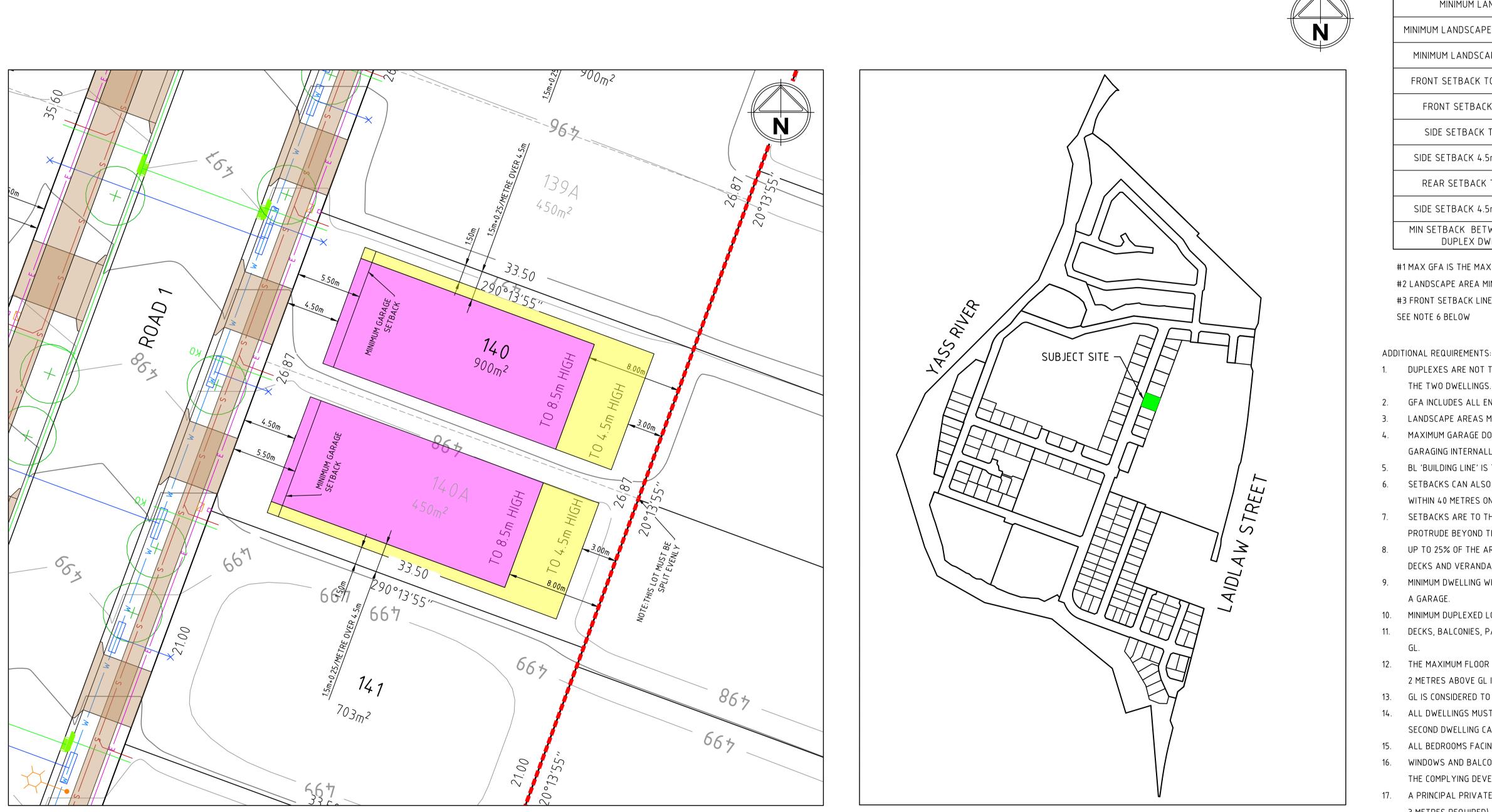
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- 7. SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
- 8. UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
- 9. MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING
- 10. MINIMUM DUPLEXED LOT SIZE IS 450SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES. 11. DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE
- 12. THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- 13. GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- 14. ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
- 15. ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
- 16. WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- 17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF

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NOTE: STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 INCLUDES THE HOUSING CODE AND LOW RISE HOUSING DIVERSITY CODE PROVIDING FOR SINGLE DWELLINGS AND DUAL OCCUPANCY DEVELOPMENT TO BE UNDERTAKEN AS COMPLYING DEVELOPMENT ON CERTAIN



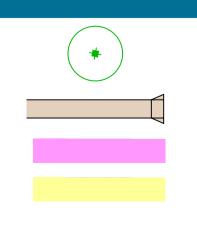


DETAIL PLAN

LOT LAYOUT - SCALE 1:200 (A1)

LEGEND				
LOT BOUNDARY		WATER	W	STREET TREE
FINISHED SURFACE		SERVICES TRENCH		
CONTOURS (1m)	590	(Electricity & NBN)	E	PATH (1.5 - 2.4m wide)
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	● –``	FATT (1.5 - 2.411 wide)
LENGTH		SINCEPEIGHT	→ →	MAX HEIGHT 8.5m
BLOCK BEARING	90°00'00"			
		SUBSTATION		MAX HEIGHT 4.5m
FUTURE LOT BOUNDARY				
		ELECTRICAL PILLAR / PIT		
STORMWATER	C) (
	SW	NBN PIT		
SEWER	C			
		DRIVEWAY LOCATION		

LOCALITY PLAN



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FOR SINGLE DWELLINGS REFER <u>HTTPS://LEGISLATION.NSW.GOV.AU/VIEW/HTML/INFORCE/CURRENT/EPI-2008-0572</u>

FOR DUAL OCCUPANCY DEVELOPMENT REFER TO THE LOW RISE HOUSING DIVERSITY CODE - (NSW.GOV.AU)

DESIGN GUIDES FOR LOW RISE HOUSING DIVERSITY - (NSW.GOV.AU) HTTPS://WWW.PLANNING.NSW.GOV.AU/POLICY-AND-LEGISLATION/HOUSING/LOW-RISE-HOUSING-DIVERSITY-CODE/DESIGN-GUIDES-FOR-LOW-RISE-HOUSING-DIVERSITY

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THE LOT DISCLOSURE PLAN DOES NOT CONSTITUTE AN APPROVAL FOR ANY DEVELOPMENT ON THE PROPERTY. THE PURCHASER IS RESPONSIBLE FOR OBTAINING ALL APPROVALS REQUIRED FOR ANY PROPOSED DEVELOPMENT OF THE PROPERTY (INCLUDING ALL APPROVALS REQUIRED FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 (CODE SEPP). THE VENDOR MAKES NO WARRANTY THAT THE PURCHASER WILL OBTAIN APPROVAL FOR A DUAL OCCUPANCY DEVELOPMENT UNDER THE CODE SEPP. THE PURCHASER SHOULD SEEK INDEPENDENT ADVICE AND RELY ON ITS OWN ENQUIRIES IN RESPECT OF ANY APPROVALS REQUIRED TO DEVELOP THE LAND.

LOT 140

YARRAH ESTATE

525 sqm #1
350 sqm #2
31 sqm #2
175 sqm #2
4.5 m #3
BL + 1m
1.5m
1.5 + 0.25M PER METRE ABOVE 4.5
Зm
8m
Зm

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)

- #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
- #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK

- 1. DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
 - GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
 - LANDSCAPE AREAS MUST BE 1.5 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
 - MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
- 5. BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
- 6. SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
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- 17. A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

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