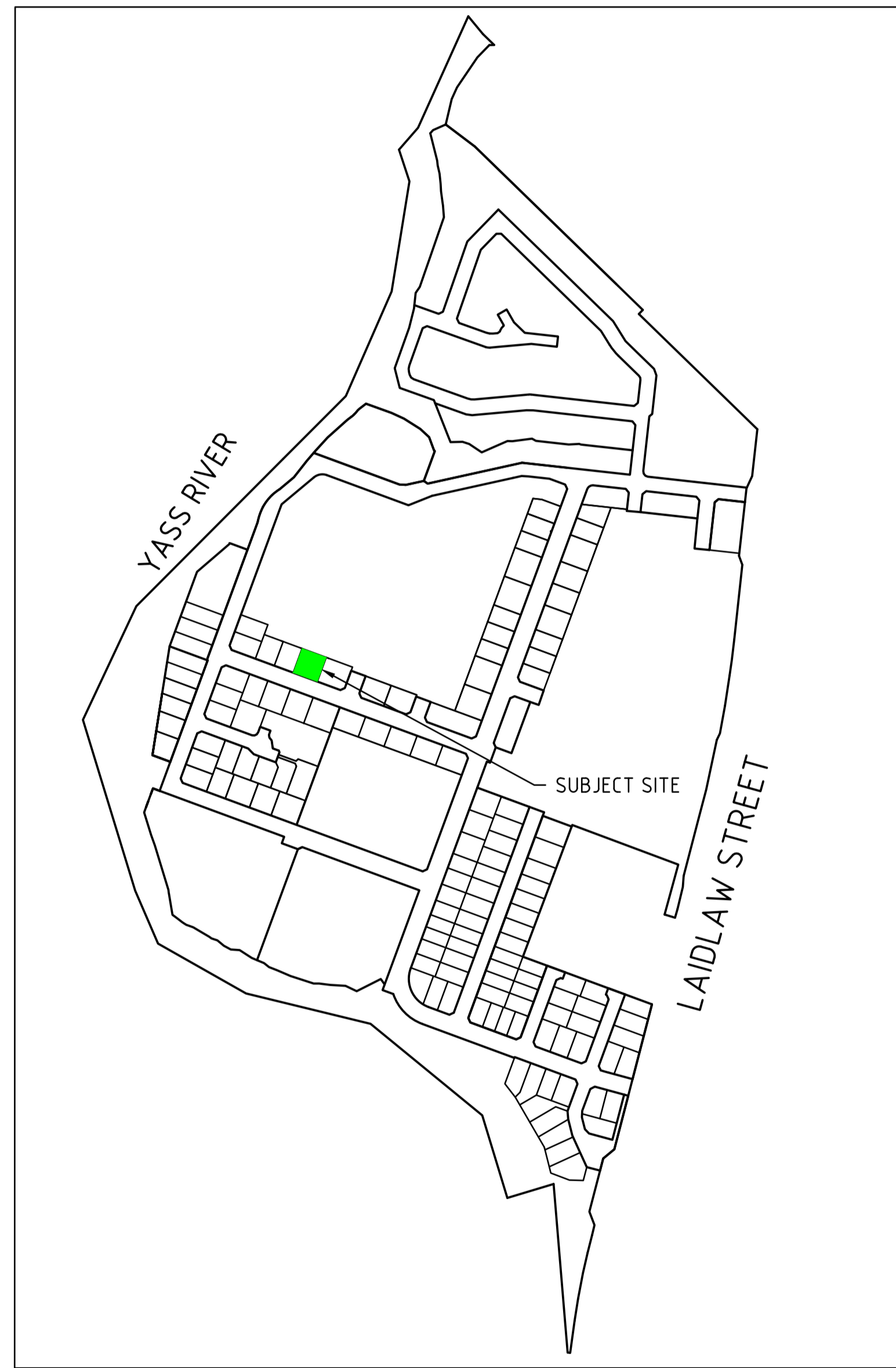


DETAIL PLAN



LOCALITY PLAN

MAX GFA	525 sqm #1
MINIMUM LANDSCAPE	350 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	34 sqm #2
MINIMUM LANDSCAPE REAR OF BL	175 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
- MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
- BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
- SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
- SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
- UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
- MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
- MINIMUM DUPLEXED LOT SIZE IS 450SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
- DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
- ALL BEDROOMS FACING THE STREET MUST INCLUDE A WINDOW FACING THE STREET.
- WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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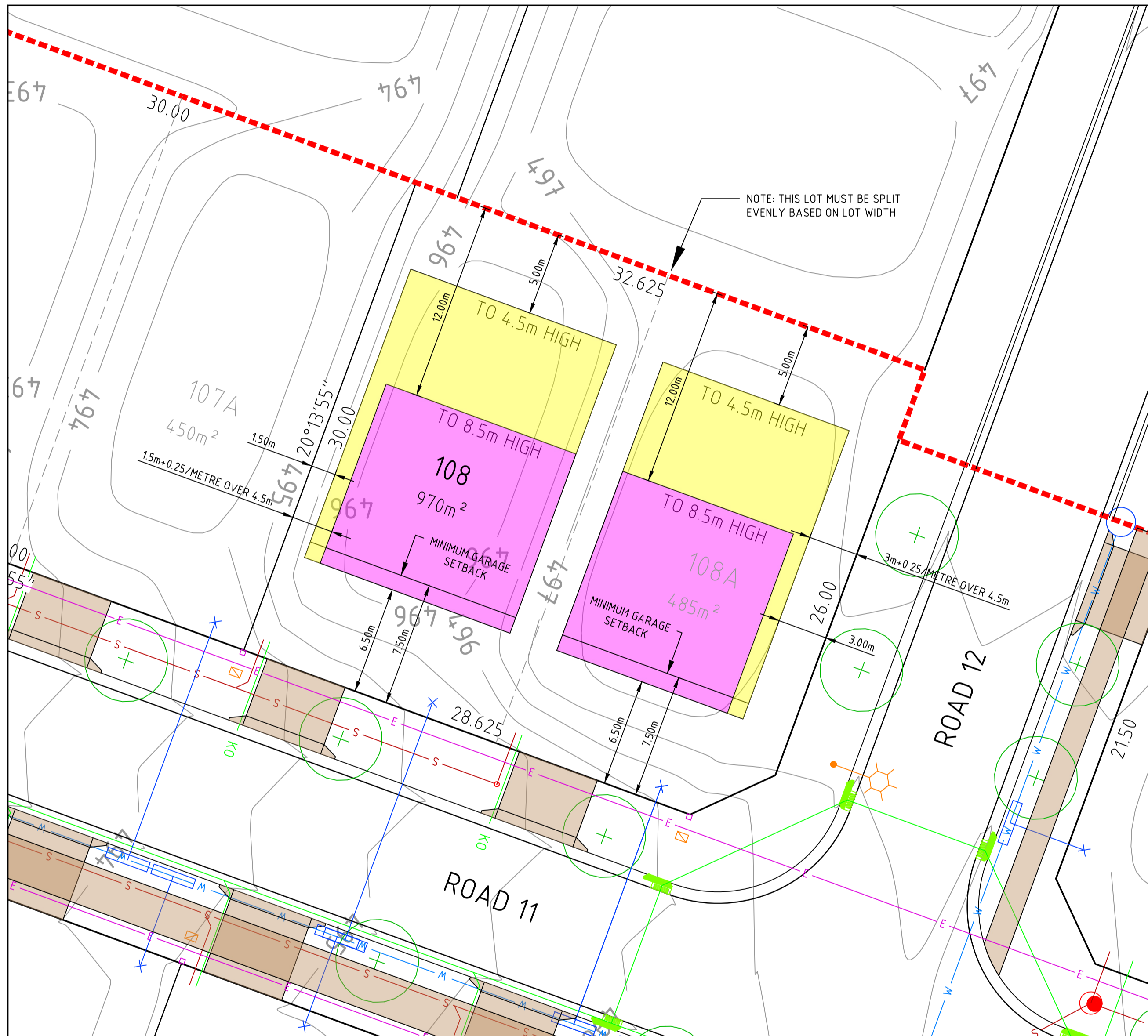
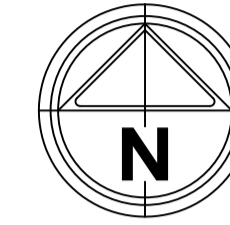
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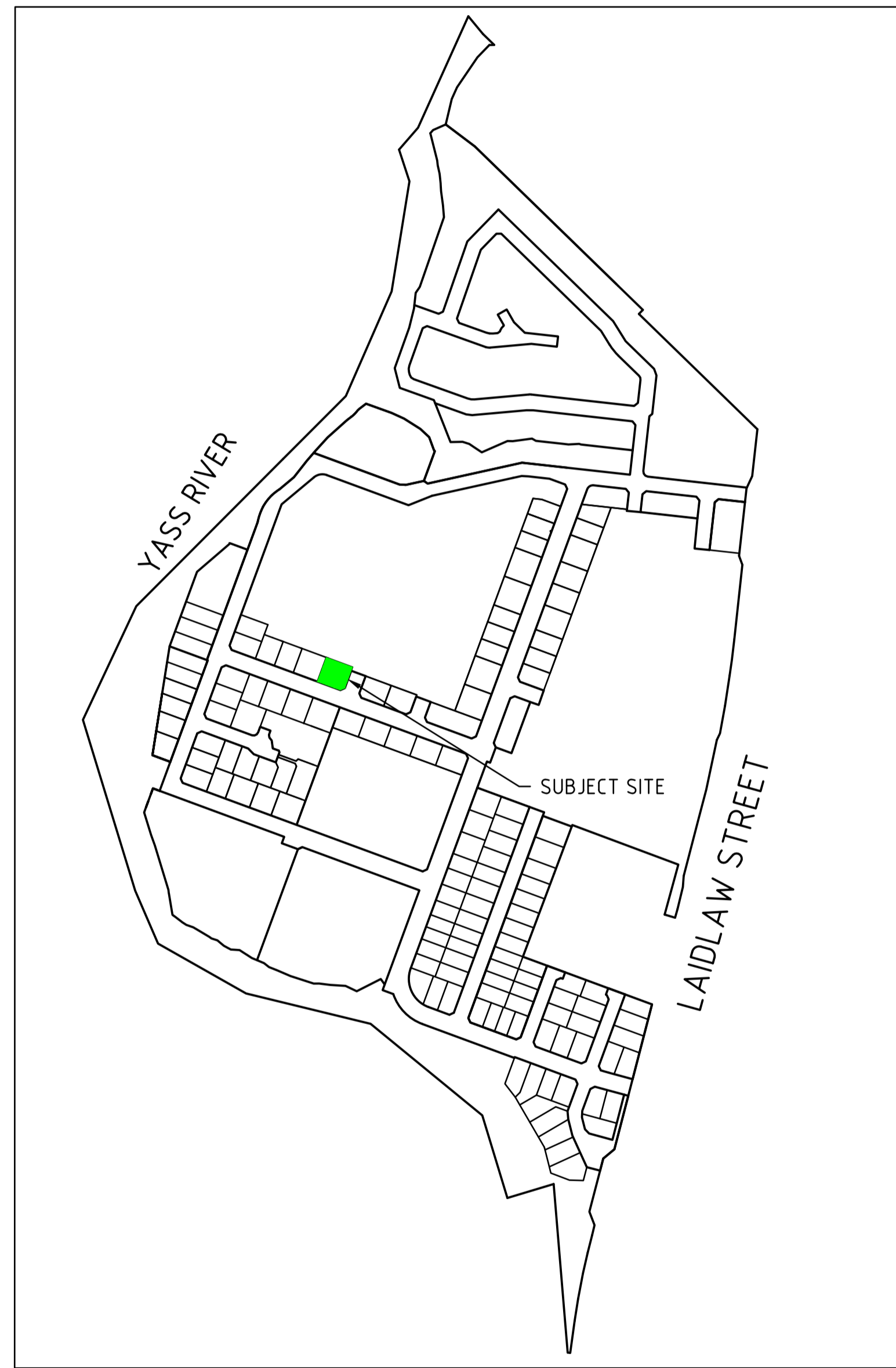
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	543 sqm #1
MINIMUM LANDSCAPE	385 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	47 sqm #2
MINIMUM LANDSCAPE REAR OF BL	193 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	3 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
- MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
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- MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
- MINIMUM DUPLEXED LOT SIZE IS 485SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
- DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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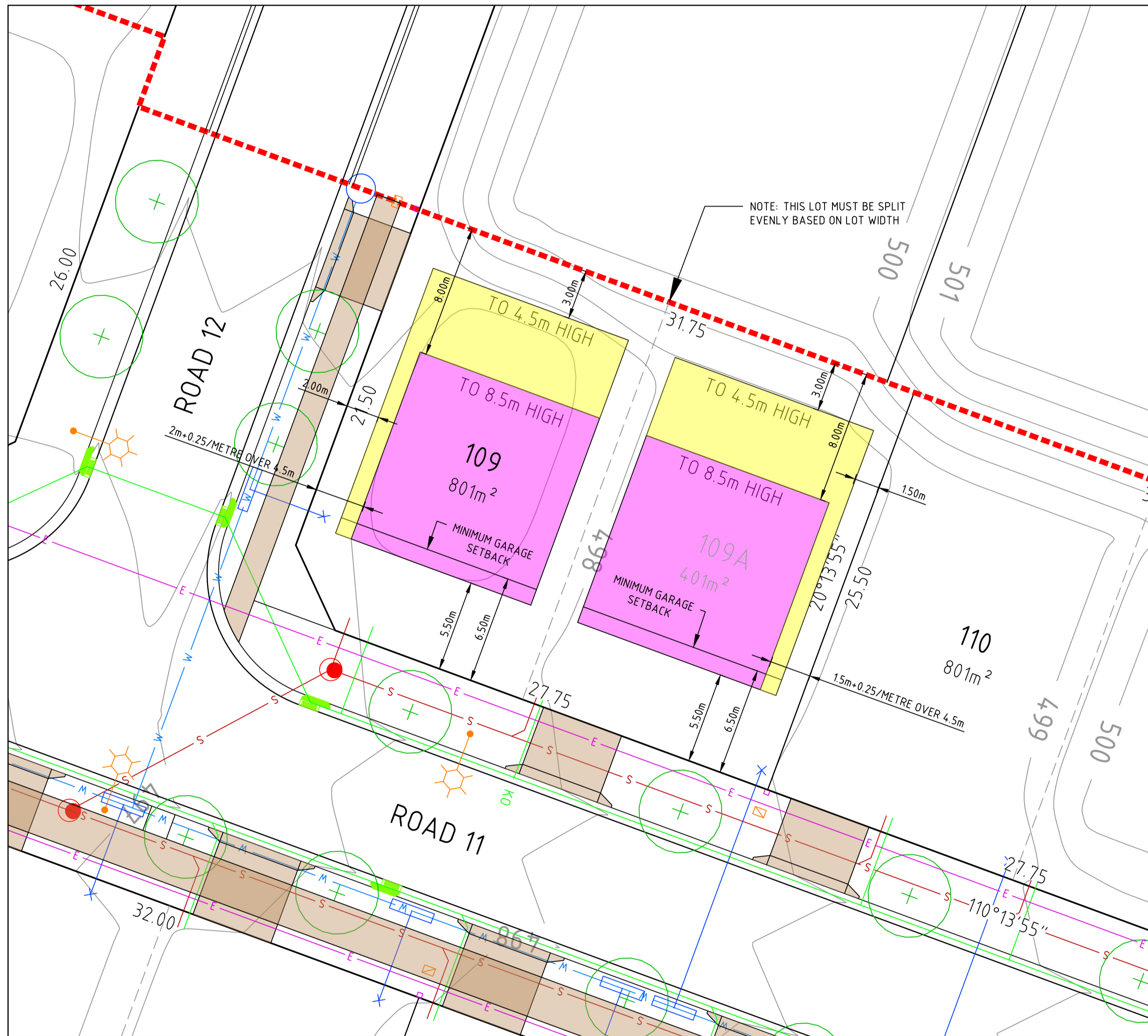
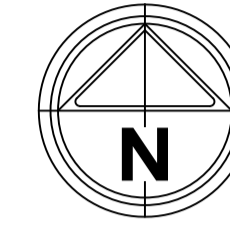
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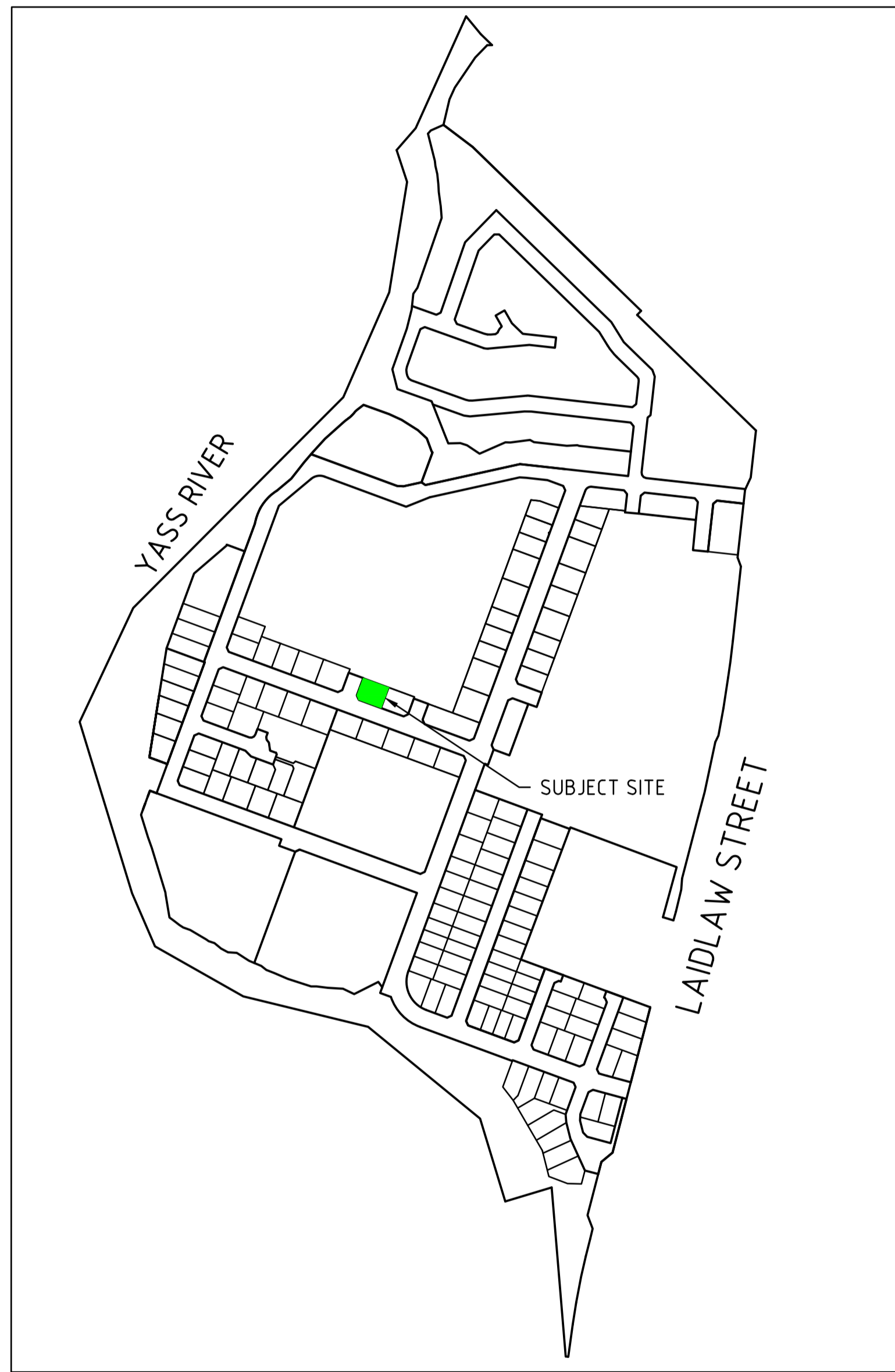
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	501 sqm #1
MINIMUM LANDSCAPE	301 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	38 sqm #2
MINIMUM LANDSCAPE REAR OF BL	151 sqm #2
FRONT SETBACK TO BL BUILD LINE	5.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	2m
SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

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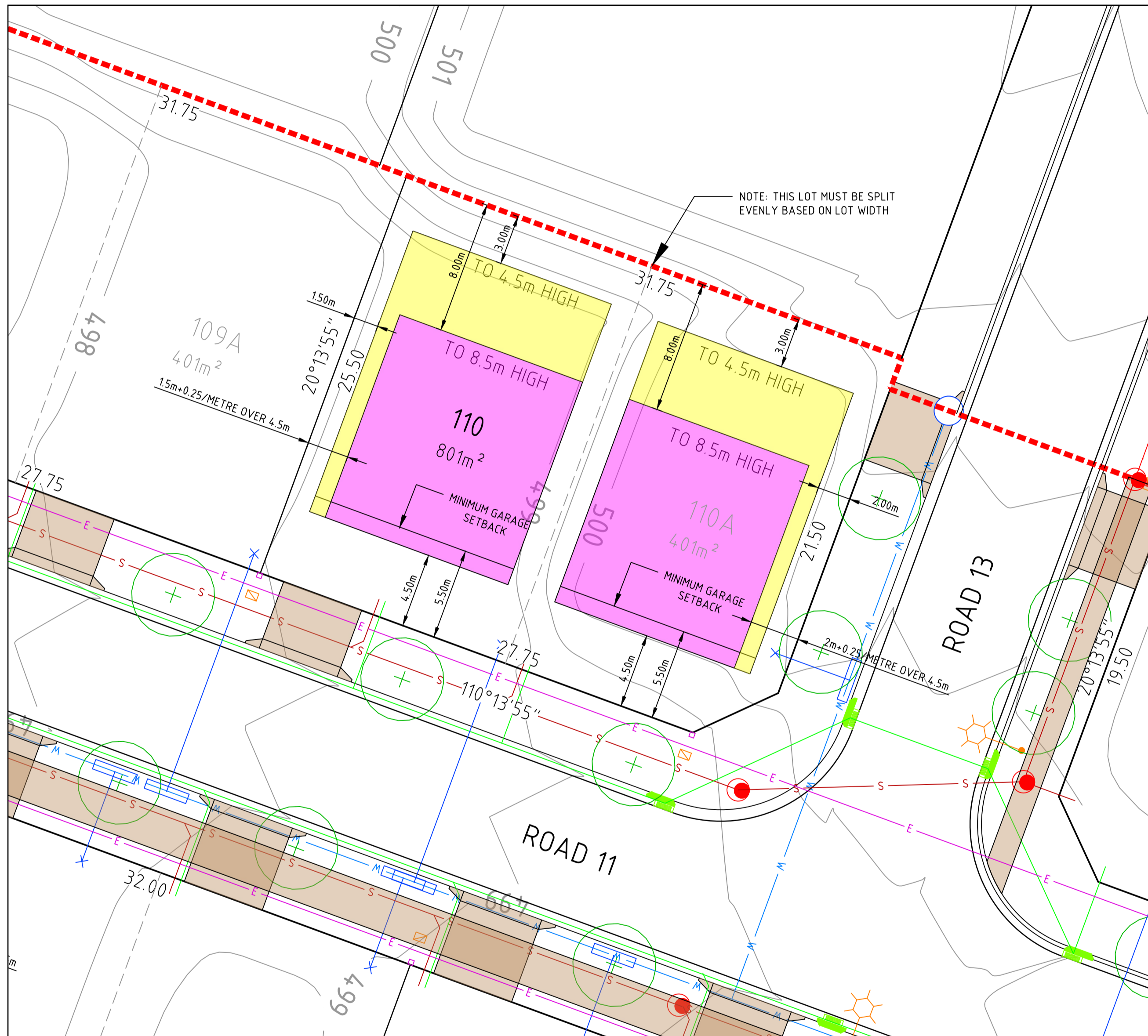
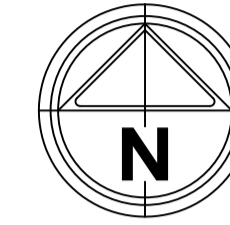
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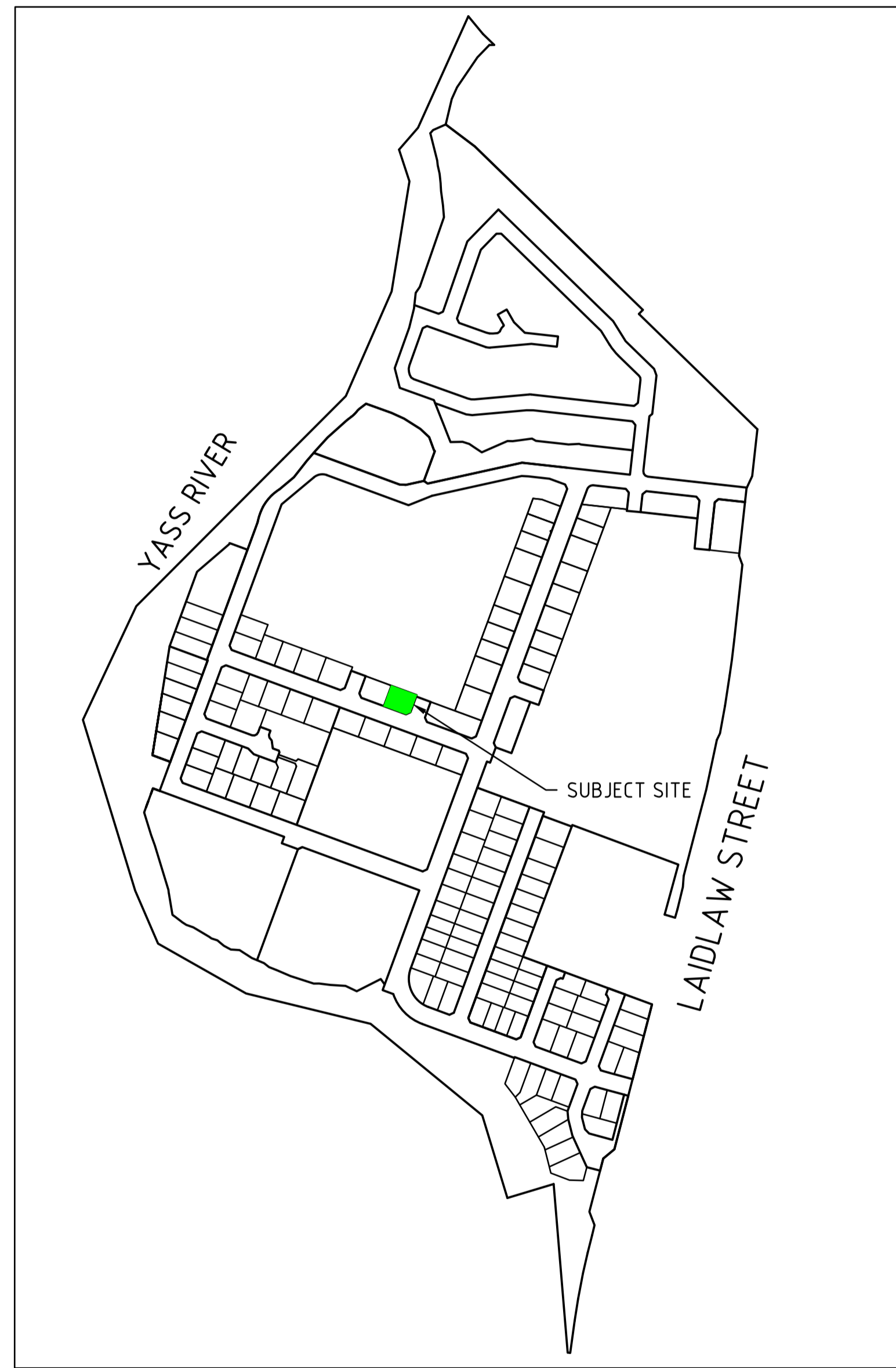
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	501 sqm #1
MINIMUM LANDSCAPE	301 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	32 sqm #2
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FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
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MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 15 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
- MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
- BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
- SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
- SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
- UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
- MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
- MINIMUM DUPLEXED LOT SIZE IS 401SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
- DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
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- WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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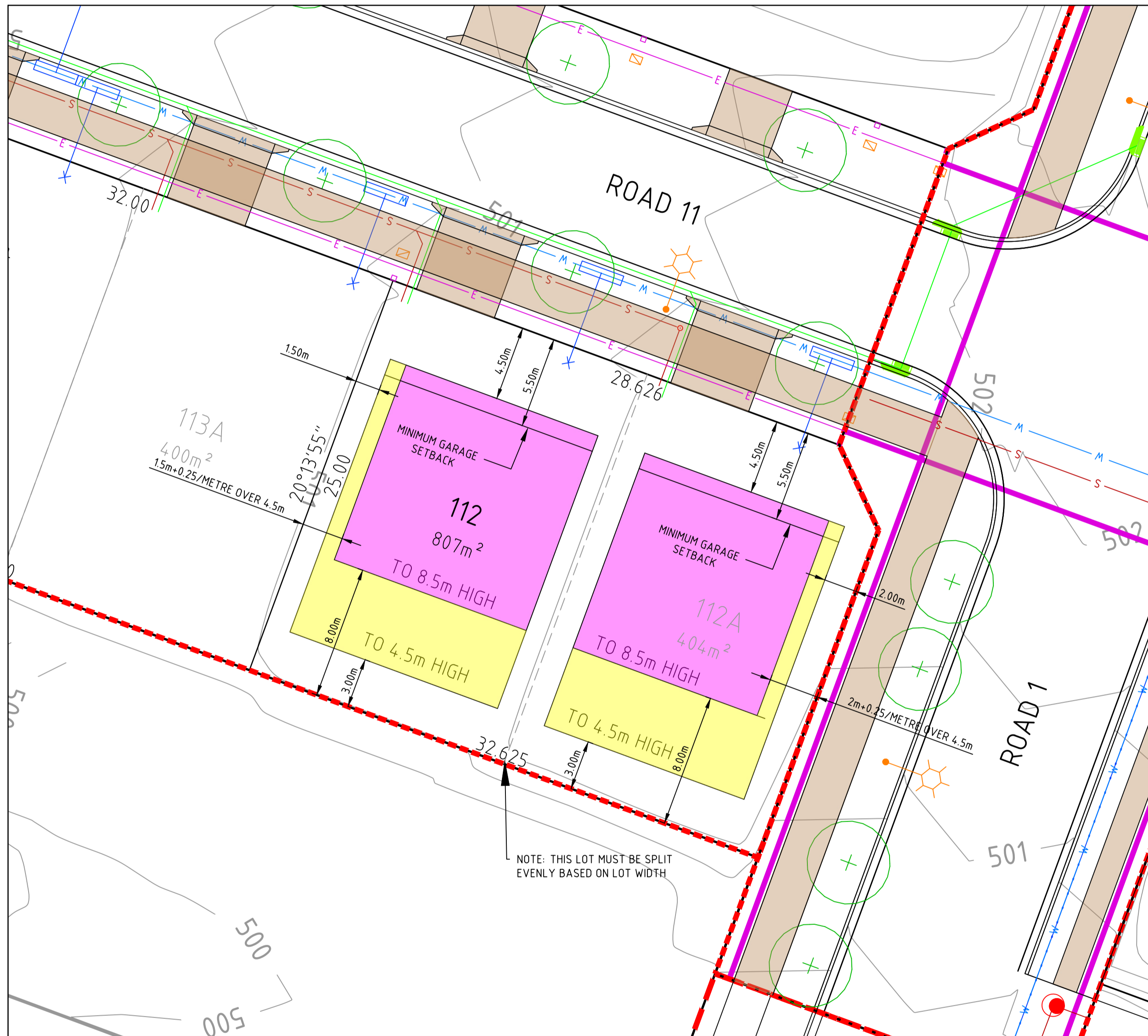
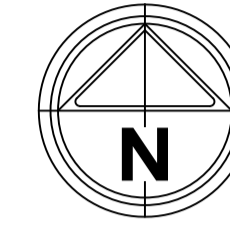
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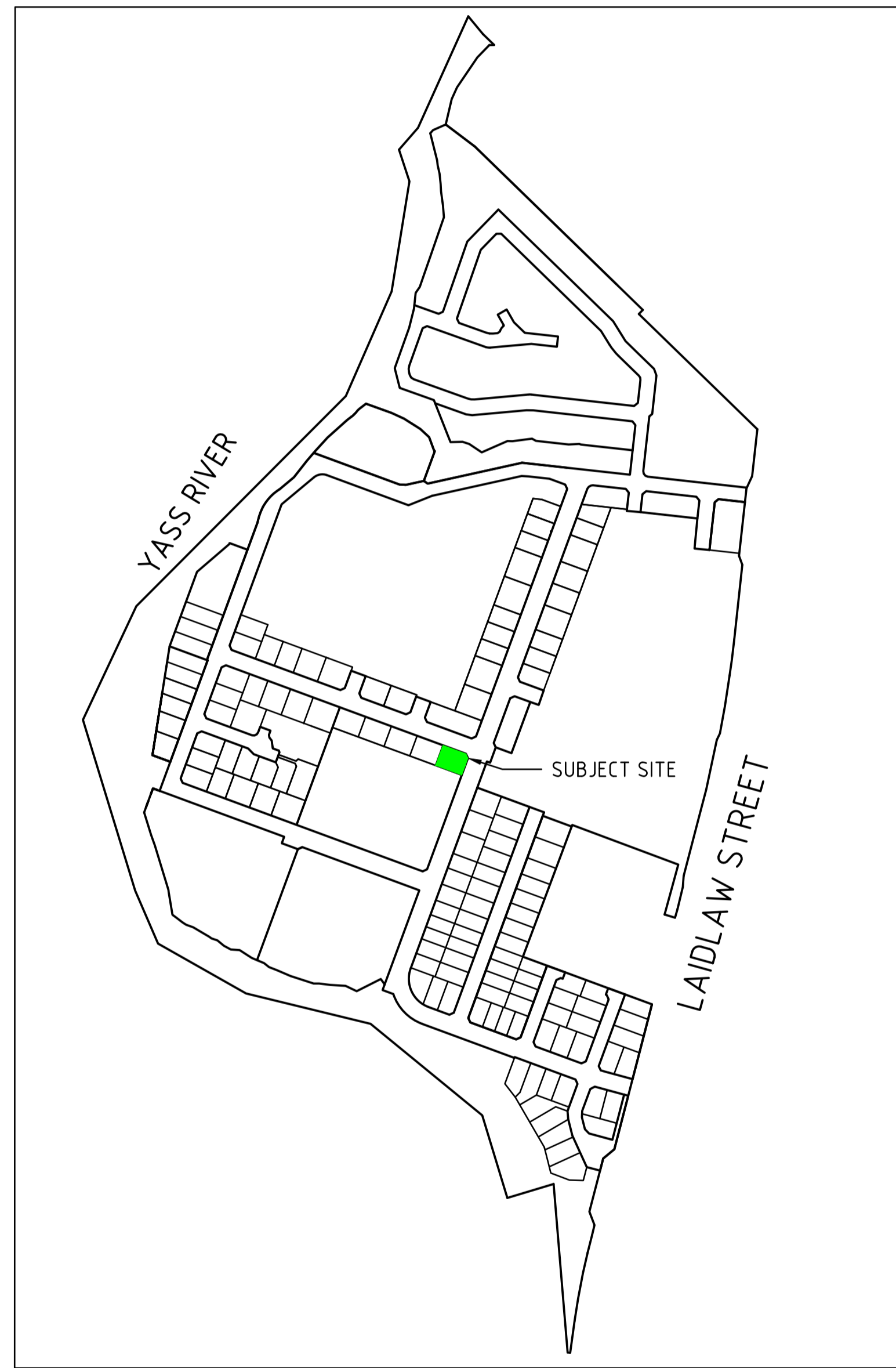
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	502 sqm #1
MINIMUM LANDSCAPE	304 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	33 sqm #2
MINIMUM LANDSCAPE REAR OF BL	152 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	2m
SIDE SETBACK 4.5m TO 8.5m HIGH	2 + 0.25M PER METRE ABOVE 6.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY	—	WATER	— W —	STREET TREE	⊙
FINISHED SURFACE CONTOURS (1m)	— 590 —	SERVICES TRENCH (Electricity & NBN)	—	PATH (1.5 - 2.4m wide)	▬
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT	⊙	MAX HEIGHT 8.5m	▬
BLOCK BEARING	90°00'00"	SUBSTATION	⊞	MAX HEIGHT 4.5m	▬
FUTURE LOT BOUNDARY	- - -	ELECTRICAL PILLAR / PIT	⊞		
STORMWATER	— SW —	NBN PIT	⊞		
SEWER	— S —	DRIVEWAY LOCATION	▬		

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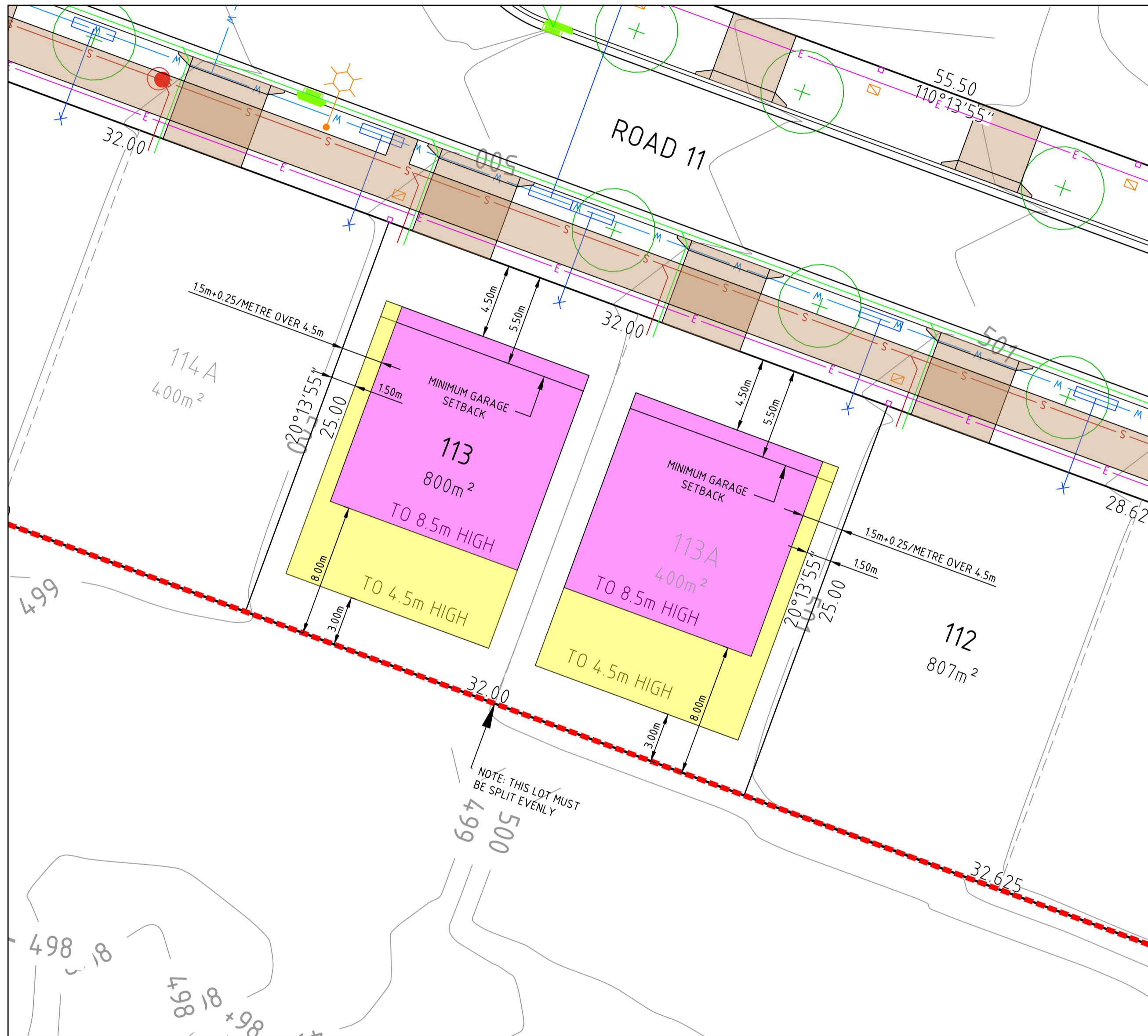
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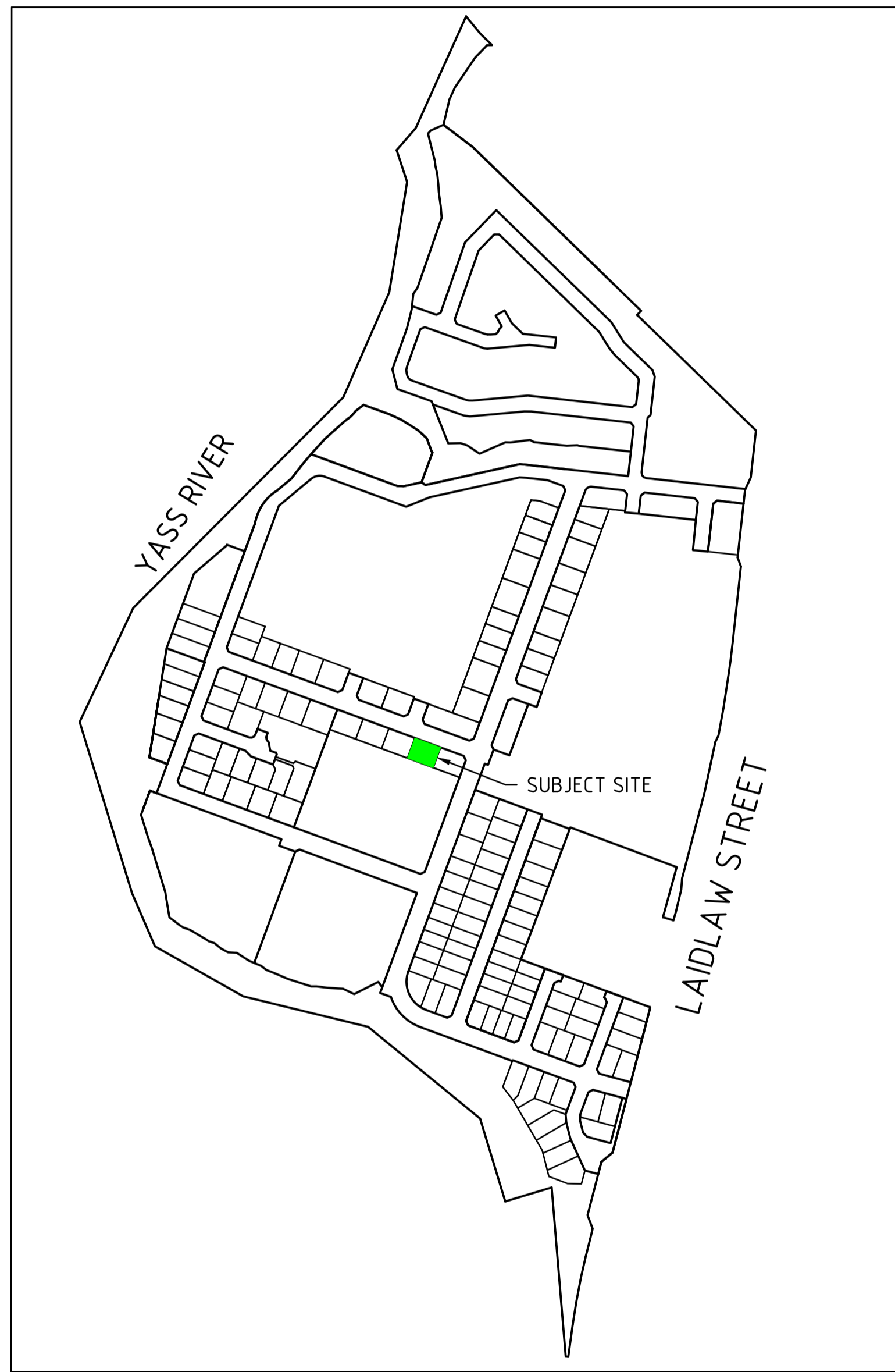
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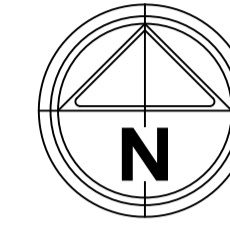
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DETAIL PLAN



LOCALITY PLAN



MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

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LOT LAYOUT - SCALE 1:200 (A1)

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STORMWATER	—sw—
SEWER	—s—
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SUBSTATION	☐
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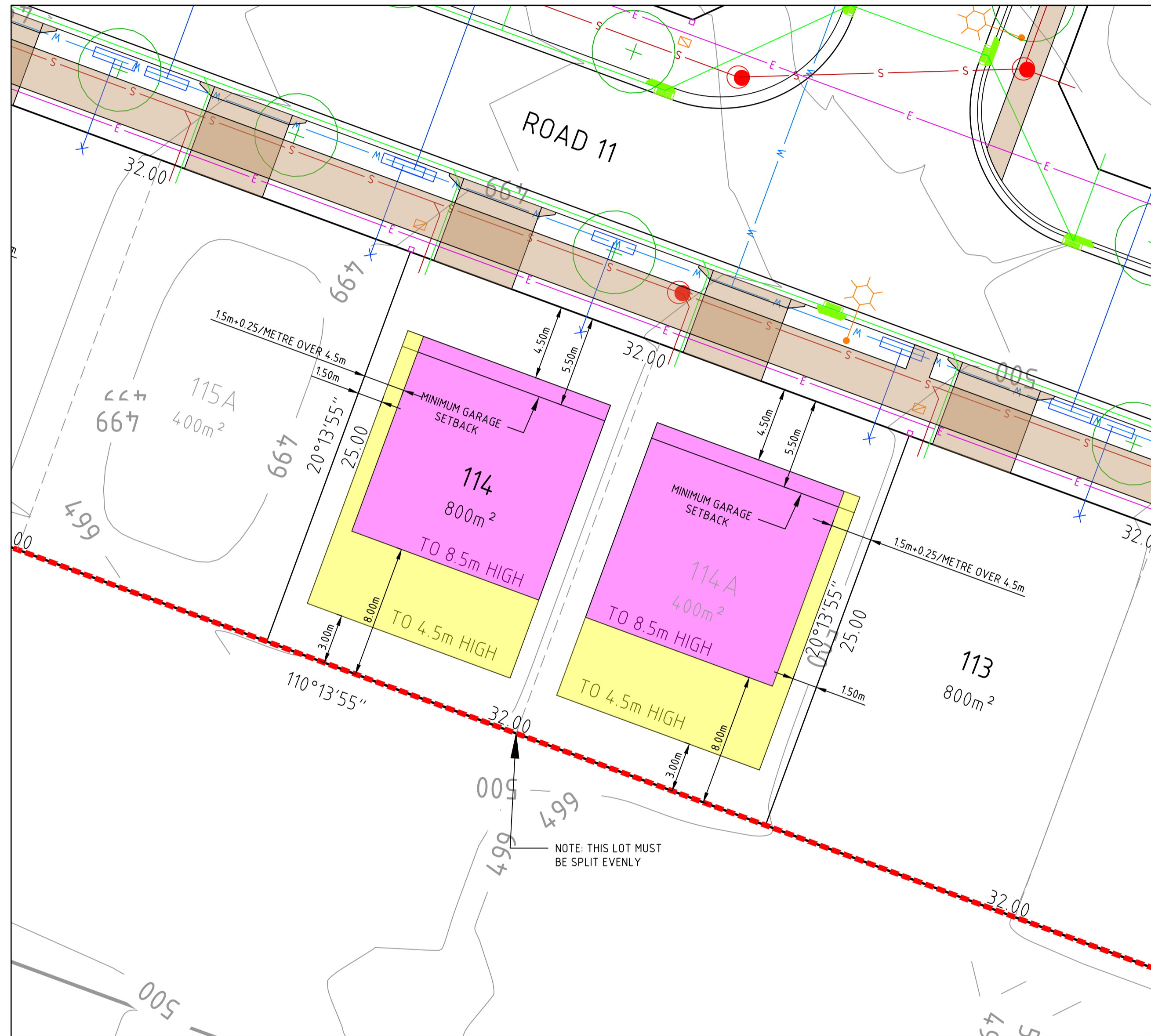
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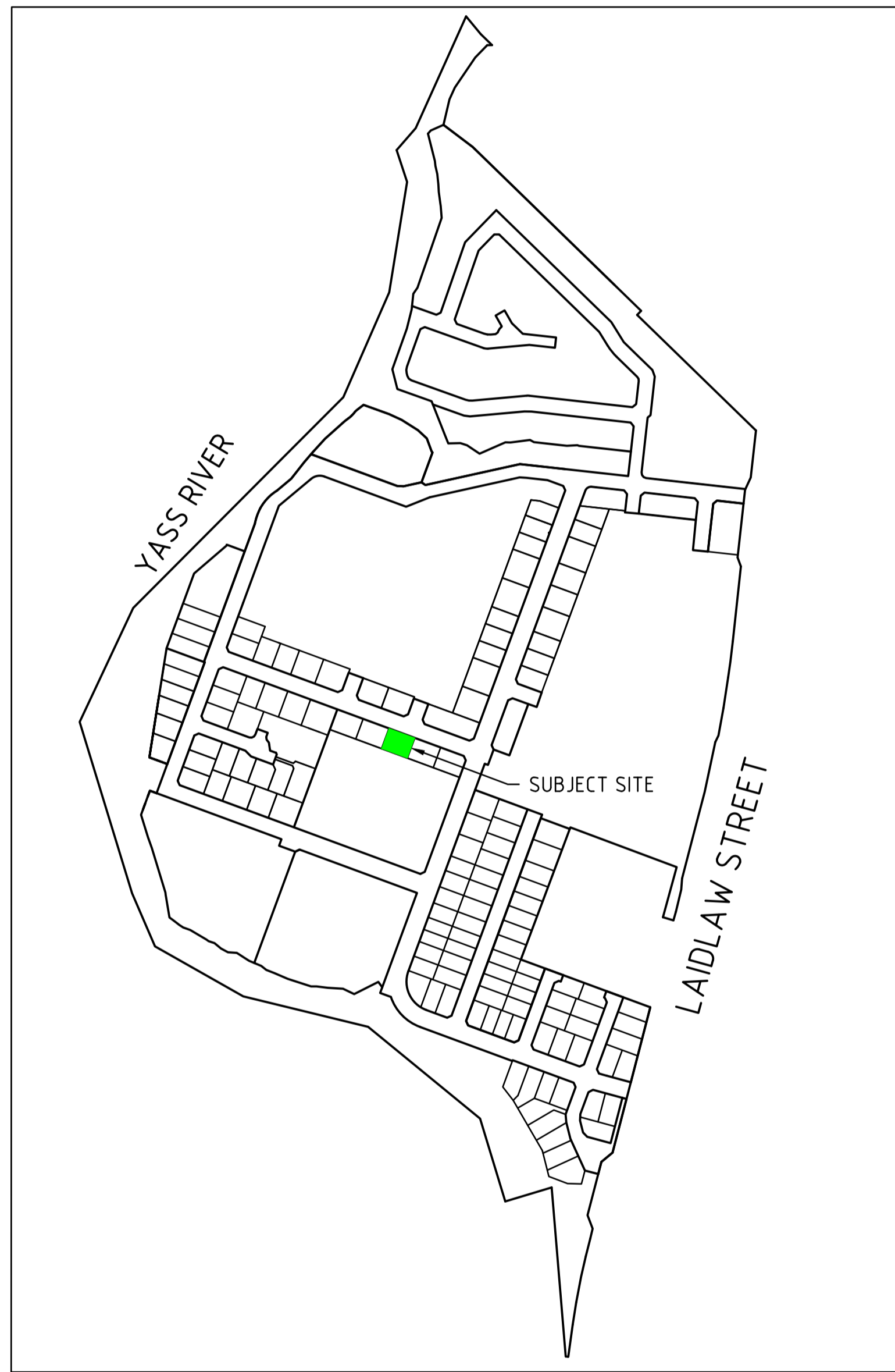
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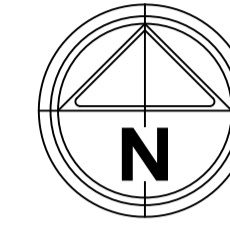
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- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
- MAXIMUM GARAGE DOOR WIDTH OF 12M APPLIES TO THE PRIMARY FRONTAGE COMBINED FOR BOTH DWELLINGS, ADDITIONAL GARAGING INTERNALLY OR TO A SECONDARY FRONTAGE IS ALLOWABLE.
- BL 'BUILDING LINE' IS THE ENCLOSED WALL OF THE HOME CLOSEST TO THE PRIMARY STREET FRONTAGE.
- SETBACKS CAN ALSO BE DETERMINED BY AVERAGING THE SETBACK TO BL OF THE TWO ADJACENT DWELLINGS IF THEY ARE WITHIN 40 METRES ON THE SAME STREET.
- SETBACKS ARE TO THE WALL OF THE DWELLING. EAVES, SCREENS, UNROOFED AND ROOFED DECKS AND VERANDAHS CAN PROTRUDE BEYOND THE SETBACK LINE.
- UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
- MINIMUM DWELLING WIDTH TO THE PRIMARY FRONTAGE IS 5 METRES WITHOUT A GARAGE AND 6.5 METRES WIDE INCLUDING A GARAGE.
- MINIMUM DUPLEXED LOT SIZE IS 400SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
- DECKS, BALCONIES, PATIOS TERRACES OR VERANDAHS TO THE REAR CANNOT HAVE A FLOOR LEVEL OVER 4 METRES ABOVE GL.
- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
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- WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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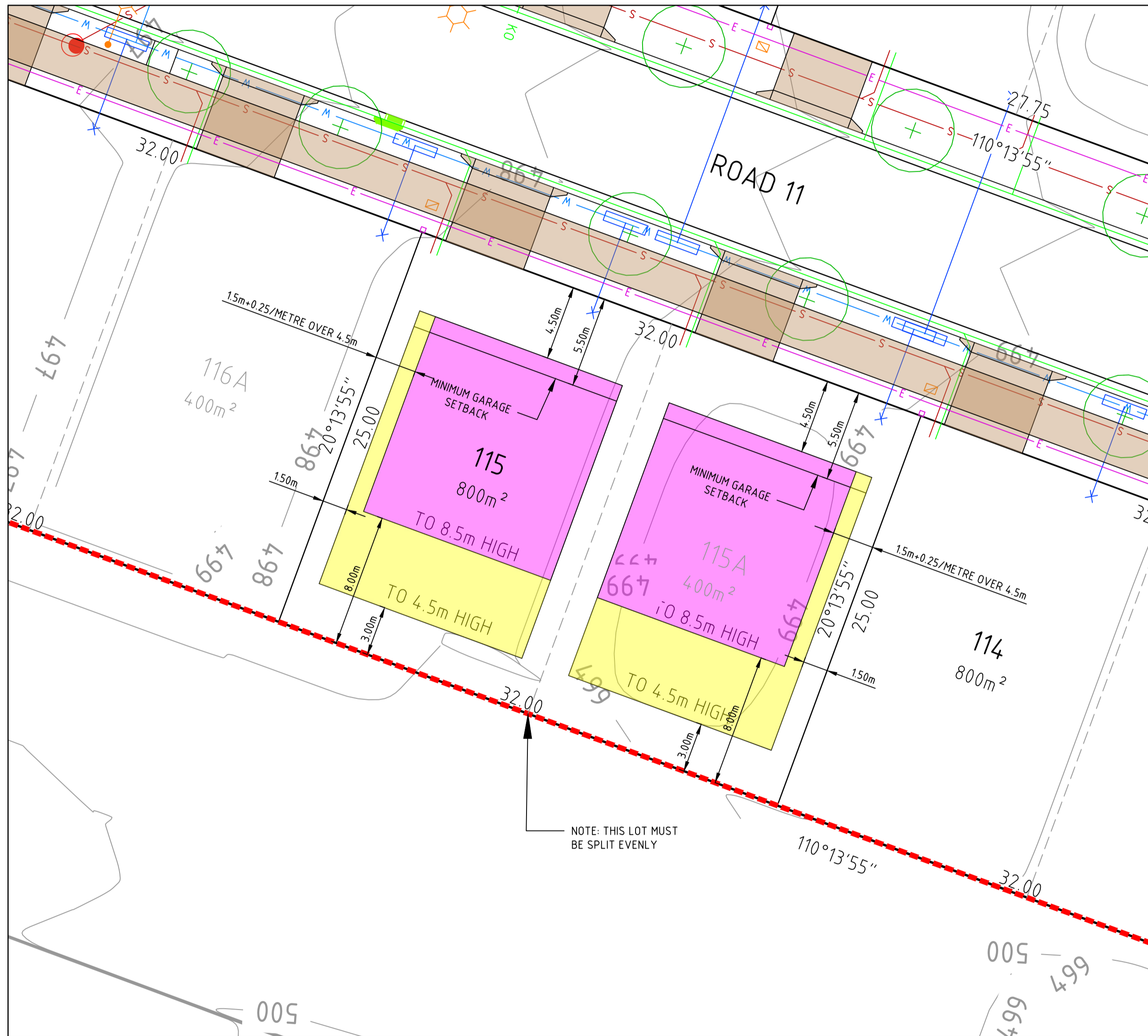
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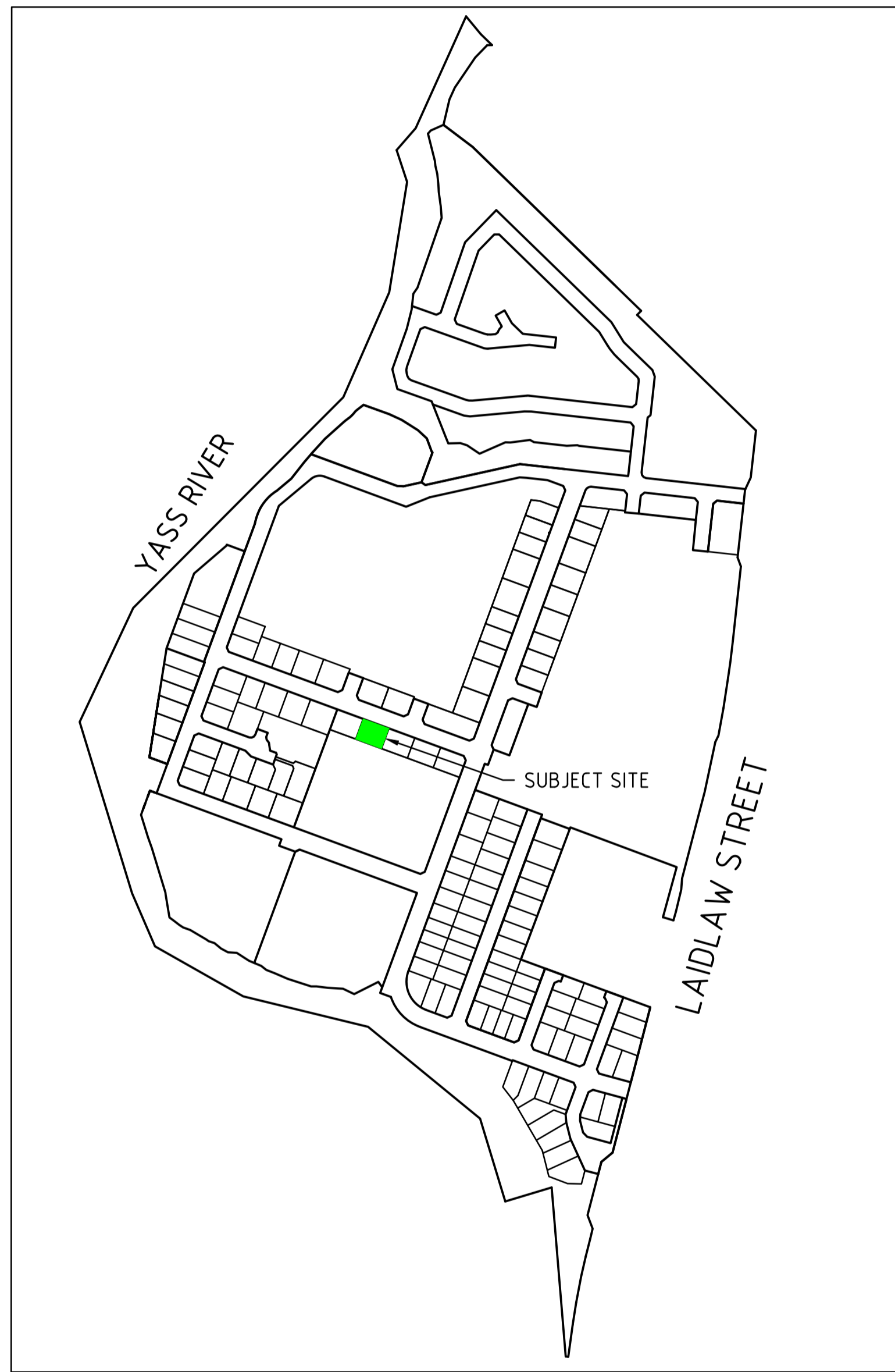
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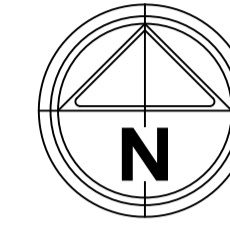
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DETAIL PLAN



LOCALITY PLAN



MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	36 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	4.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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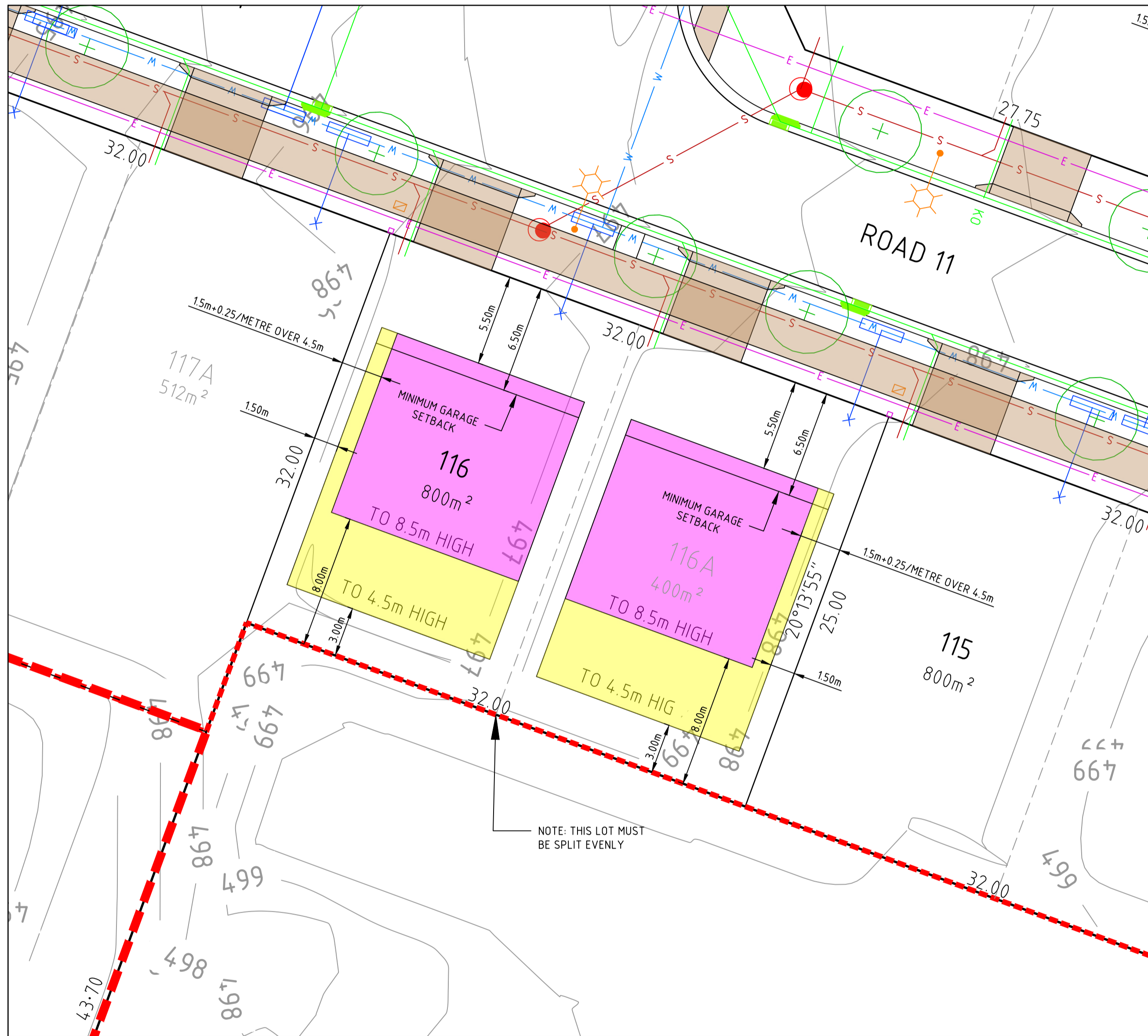
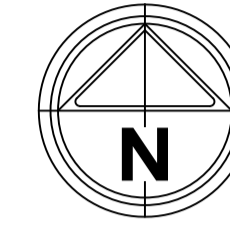
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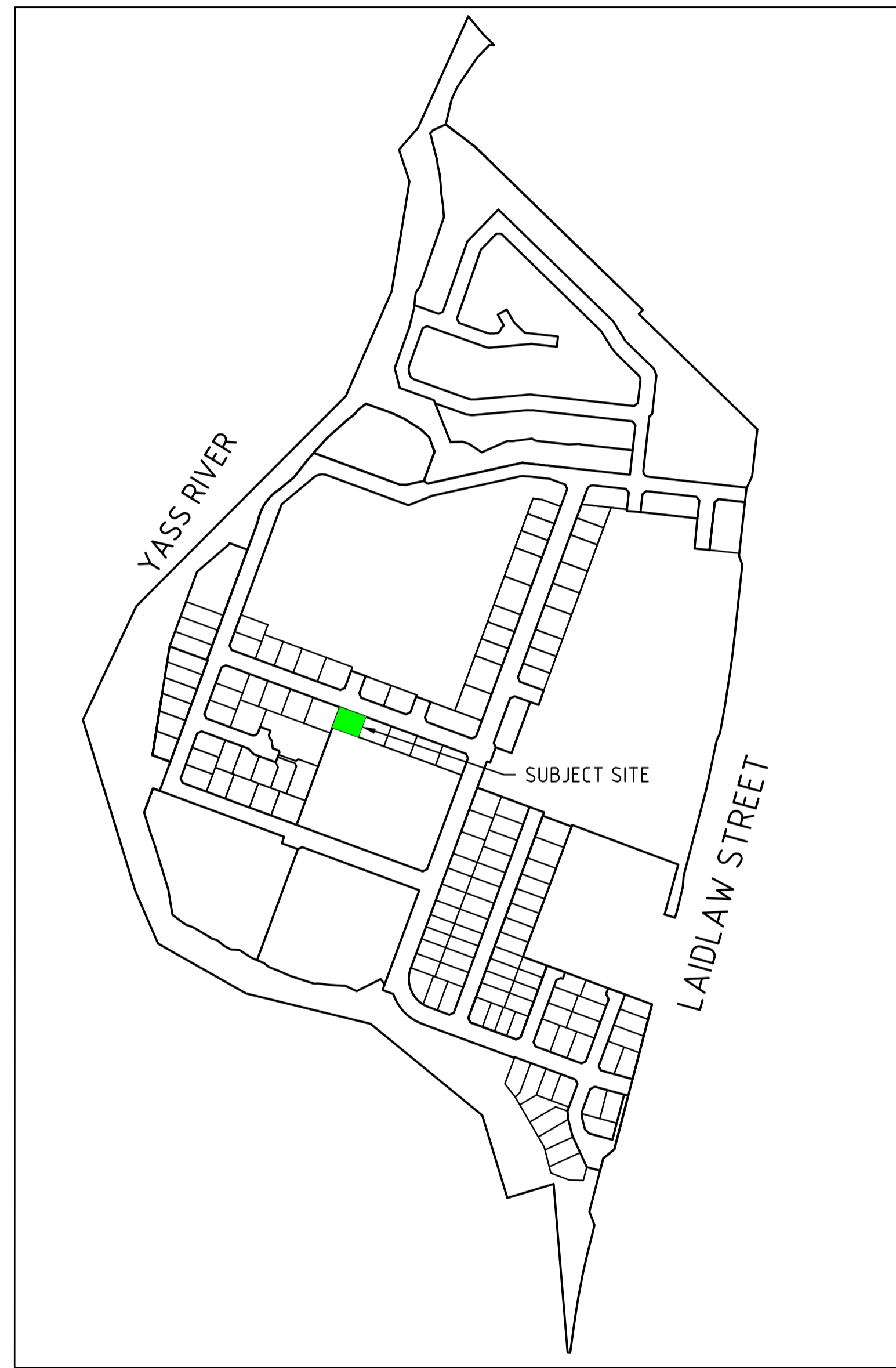
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	500 sqm #1
MINIMUM LANDSCAPE	300 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	44 sqm #2
MINIMUM LANDSCAPE REAR OF BL	150 sqm #2
FRONT SETBACK TO BL BUILD LINE	5.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	3m
SIDE SETBACK 4.5m TO 8.5m HIGH	8m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

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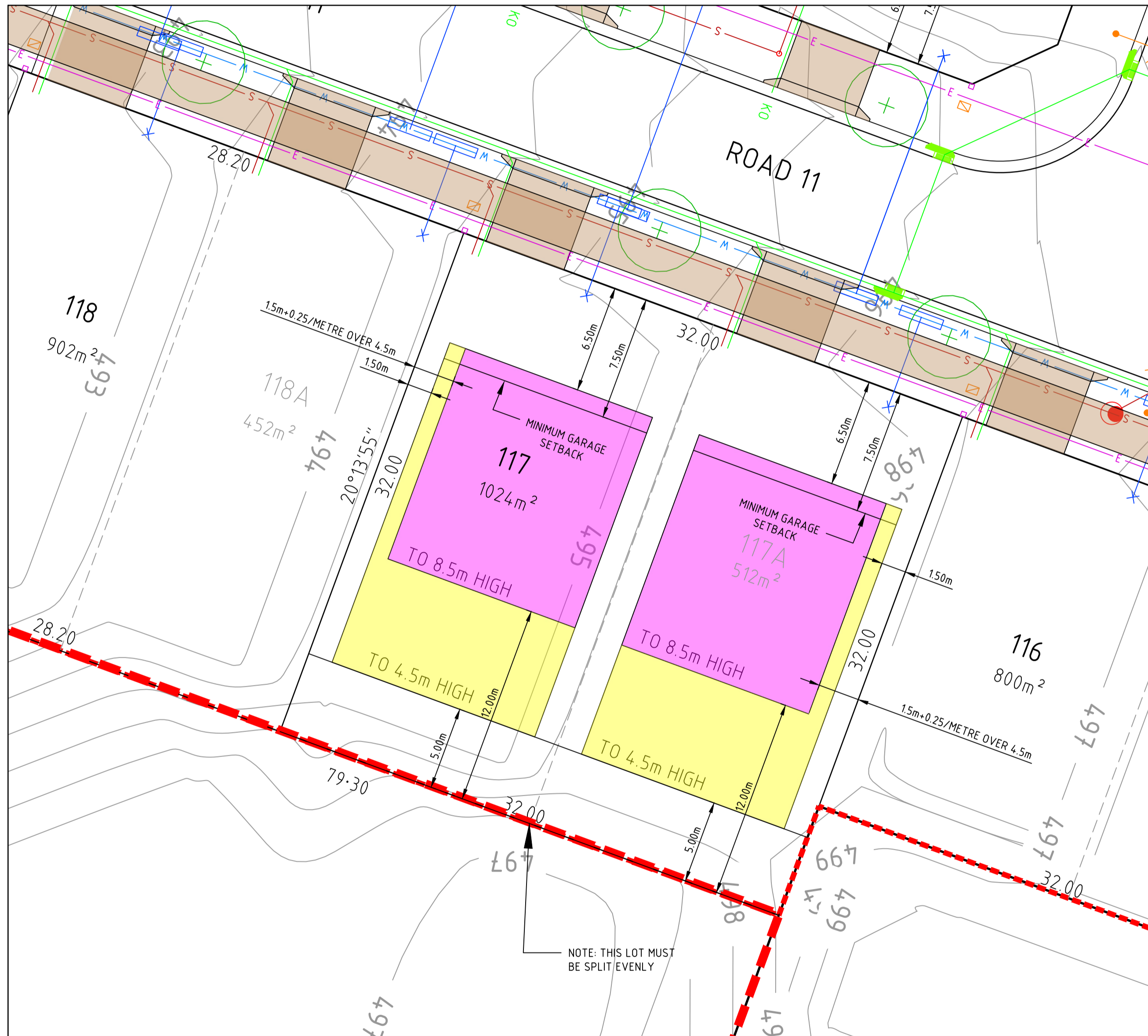
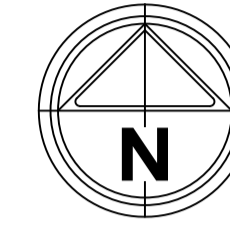
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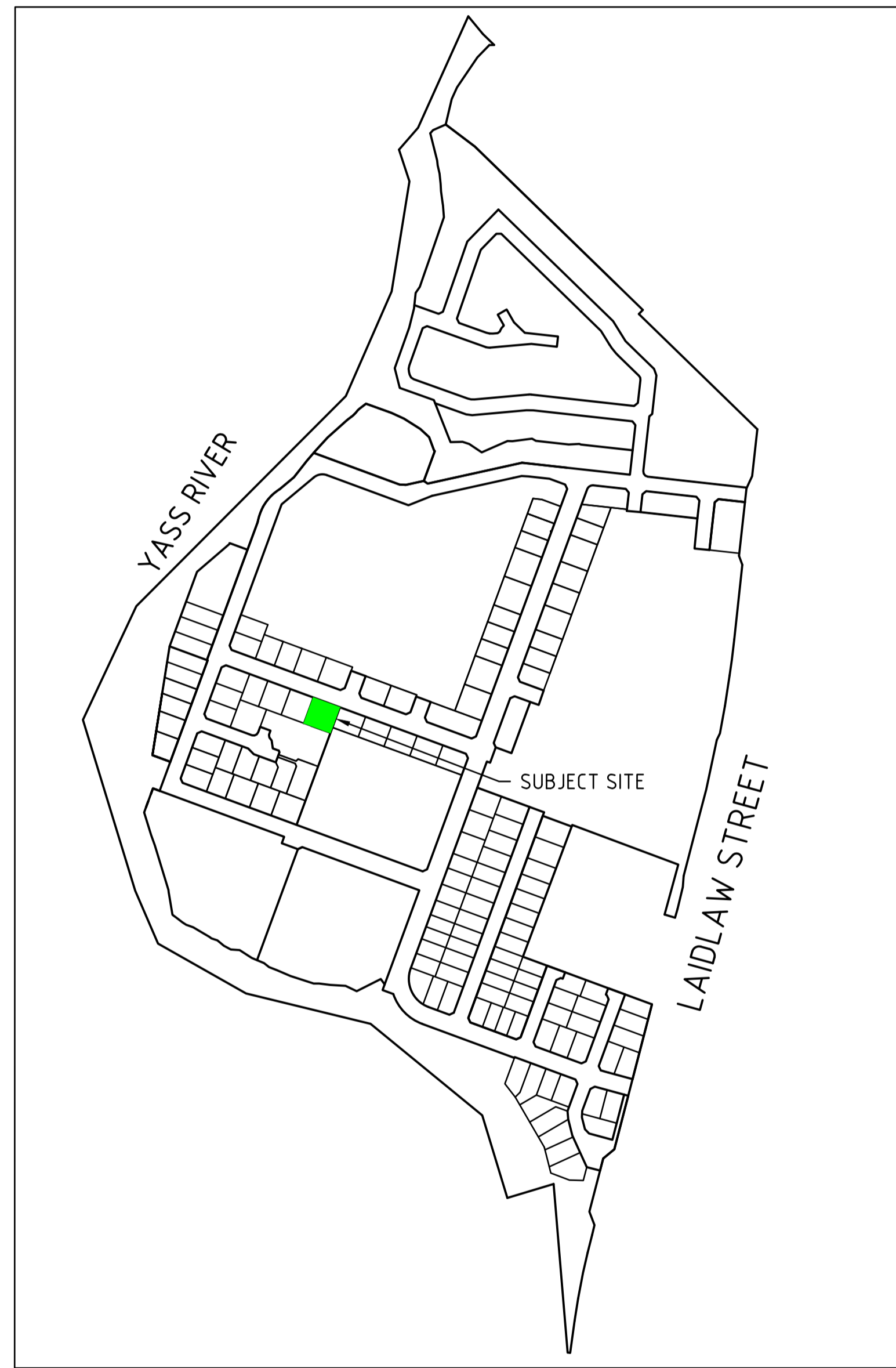
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	556 sqm #1
MINIMUM LANDSCAPE	412 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	52 sqm #2
MINIMUM LANDSCAPE REAR OF BL	206 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

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- UP TO 25% OF THE AREA FORWARD OF THE FRONT SETBACK CAN INCORPORATE EAVES, SCREENS, ROOFED AND UNROOFED DECKS AND VERANDAHS, WHICH CAN PROTRUDE UP TO 1.5 METRES FORWARD OF THE BL.
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- MINIMUM DUPLEXED LOT SIZE IS 512SQM FOR ANY DWELLING AND MINIMUM PRIMARY FRONTAGE IS 13 METRES.
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- THE MAXIMUM FLOOR AREA OF ALL DECKS, PATIOS, BALCONIES, TERRACES OR VERANDAHS WITH A FLOOR LEVEL MORE THAN 2 METRES ABOVE GL IS 12 SQM.
- GL IS CONSIDERED TO BE THE GROUND LEVEL FOLLOWING SUBDIVISION. MAXIMUM HEIGHT IS 8.5 METRES ABOVE GL.
- ALL DWELLINGS MUST FRONT TO THE PRIMARY STREET FRONTAGE, EXCLUDING DUPLEXES ON CORNER LOTS WHERE THE SECOND DWELLING CAN FRONT TO THE SECONDARY STREET FRONTAGE.
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- WINDOWS AND BALCONIES REQUIRE SCREENING ELEMENTS WHERE THE FLOOR LEVEL IS OVER 1 METRE ABOVE GL. REFER TO THE COMPLYING DEVELOPMENT DOCUMENT FOR DETAILS OF ACCEPTABLE SCREENS.
- A PRINCIPAL PRIVATE OPEN SPACE AREA OF 16 SQM IS REQUIRED FOR EACH DWELLING (MINIMUM DIMENSION OF 3 METRES REQUIRED)

LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

LOT BOUNDARY		WATER		STREET TREE	
FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54	STREETLIGHT		MAX HEIGHT 8.5m	
BLOCK BEARING	90°00'00"	SUBSTATION		MAX HEIGHT 4.5m	
FUTURE LOT BOUNDARY		ELECTRICAL PILLAR / PIT			
STORMWATER		NBN PIT			
SEWER		DRIVEWAY LOCATION			

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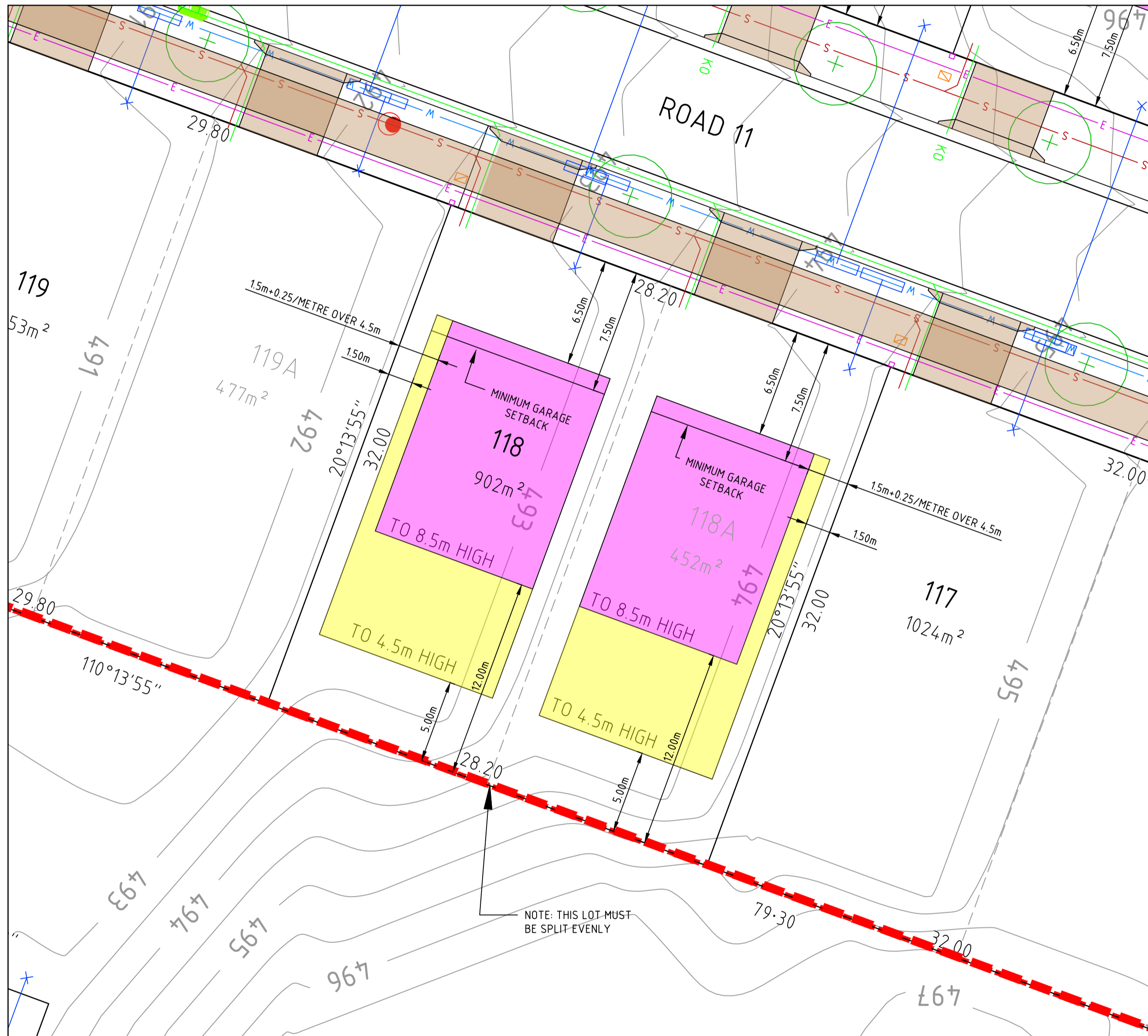
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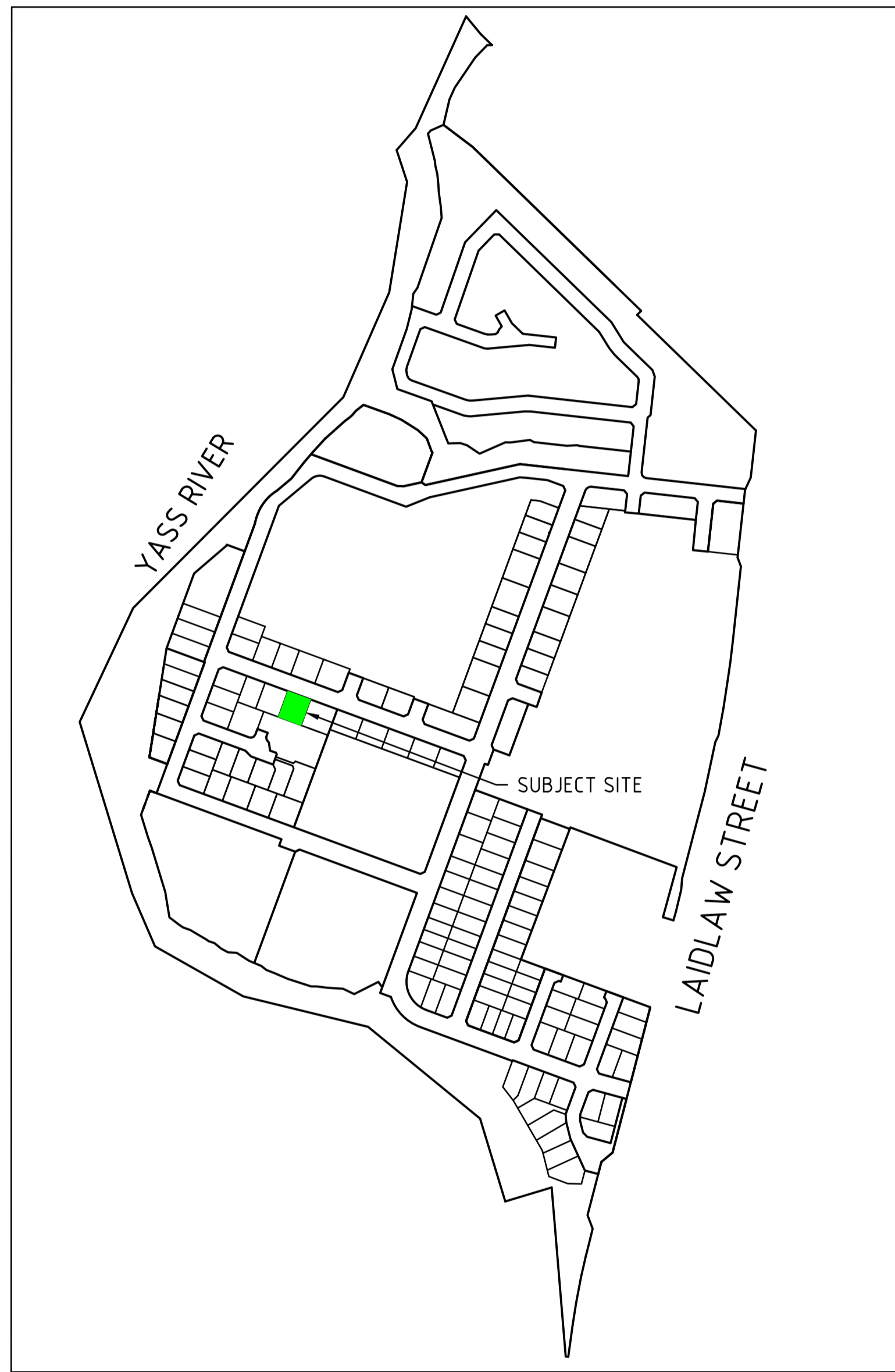
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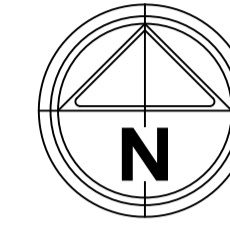
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DETAIL PLAN



LOCALITY PLAN



MAX GFA	526 sqm #1
MINIMUM LANDSCAPE	351 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	46 sqm #2
MINIMUM LANDSCAPE REAR OF BL	176 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
MIN SETBACK BETWEEN DETACHED DUPLEX DWELLINGS	3m

#1 MAX GFA IS THE MAXIMUM GFA FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #2 LANDSCAPE AREA MIN REQUIREMENTS ARE FOR THE LOT (INCLUDES BOTH DWELLINGS)
 #3 FRONT SETBACK LINE CAN ALSO BE DETERMINED USING AVERAGED SETBACK
 SEE NOTE 6 BELOW

ADDITIONAL REQUIREMENTS:

- DUPLEXES ARE NOT TO BE JOINED AND MUST BE SETBACK 1.5 METRES FROM THE PROPERTY BOUNDARY CREATED BETWEEN THE TWO DWELLINGS.
- GFA INCLUDES ALL ENCLOSED FLOORED AREAS EXCLUDING GARAGES AND VOIDS TO UPPER LEVELS.
- LANDSCAPE AREAS MUST BE 15 METRES MINIMUM WIDTH / DEPTH TO COUNT TOWARDS AREA REQUIREMENT.
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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND	
LOT BOUNDARY	—
FINISHED SURFACE CONTOURS (1m)	—590—
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54
BLOCK BEARING	90°00'00"
FUTURE LOT BOUNDARY	- - -
STORMWATER	—sw—
SEWER	—s—
WATER	—w—
SERVICES TRENCH (Electricity & NBN)	—
STREETLIGHT	⊙
SUBSTATION	⊞
ELECTRICAL PILLAR / PIT	⊠
NBN PIT	⊡
DRIVEWAY LOCATION	—
STREET TREE	⊙
PATH (1.5 - 2.4m wide)	—
MAX HEIGHT 8.5m	■
MAX HEIGHT 4.5m	■

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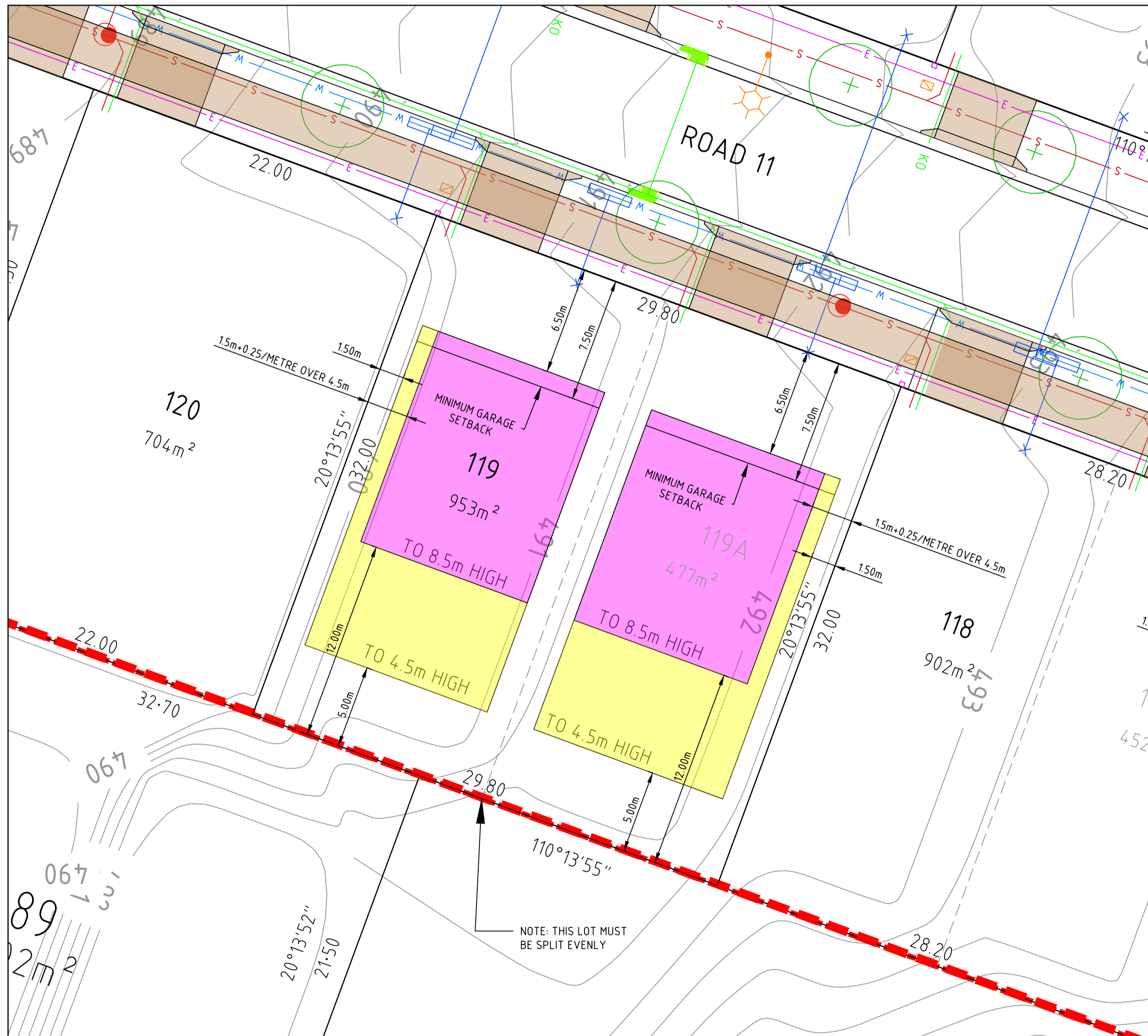
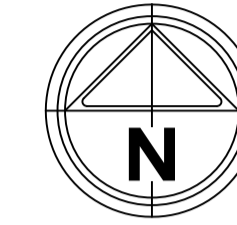
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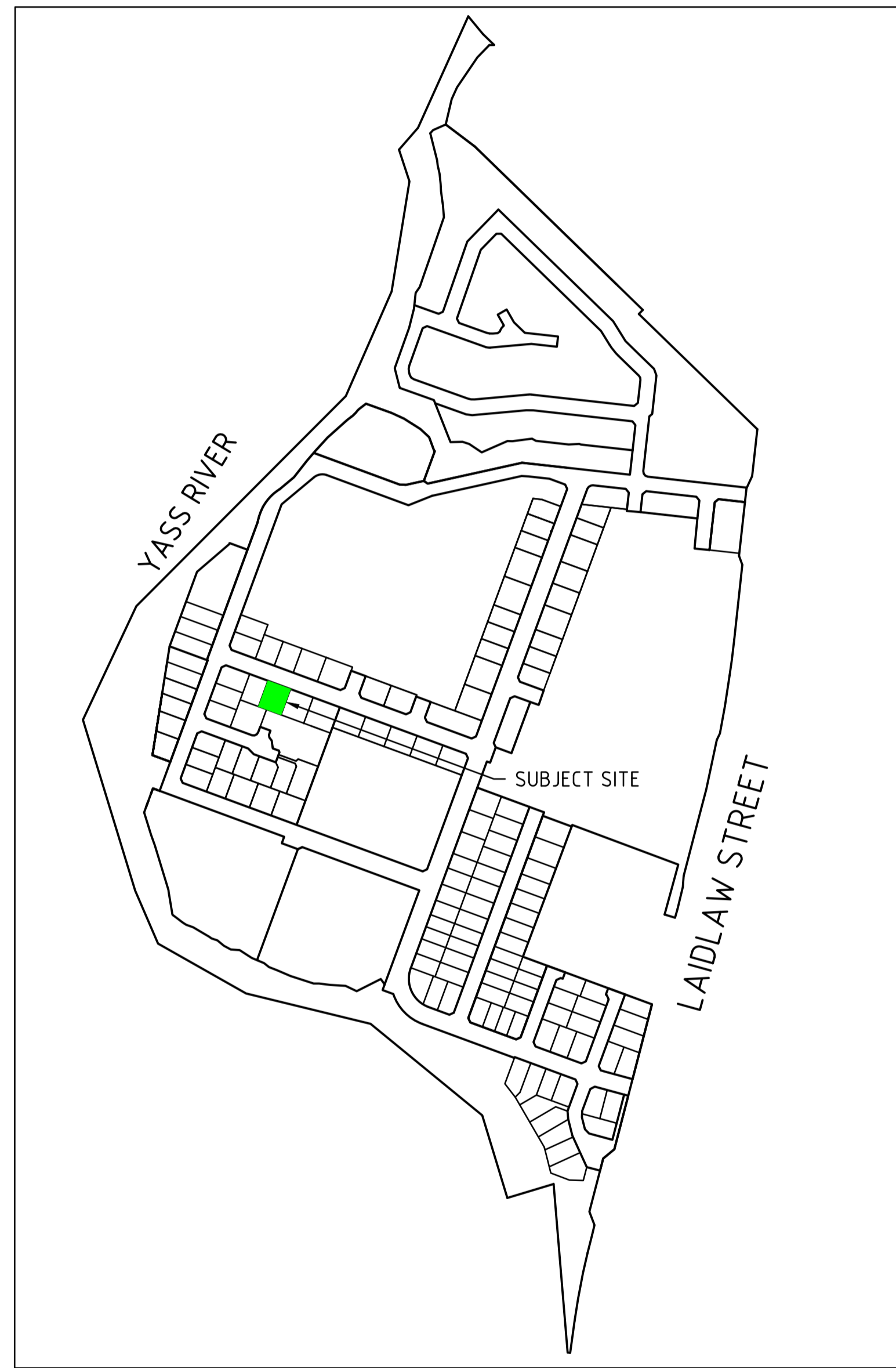
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DETAIL PLAN



LOCALITY PLAN

MAX GFA	539 sqm #1
MINIMUM LANDSCAPE	377 sqm #2
MINIMUM LANDSCAPE FORWARD OF BL	48 sqm #2
MINIMUM LANDSCAPE REAR OF BL	189 sqm #2
FRONT SETBACK TO BL BUILD LINE	6.5 m #3
FRONT SETBACK TO GARAGE	BL + 1m
SIDE SETBACK TO 4.5m HIGH	1.5m
SIDE SETBACK 4.5m TO 8.5m HIGH	1.5 + 0.25M PER METRE ABOVE 4.5
REAR SETBACK TO 4.5m HIGH	5m
SIDE SETBACK 4.5m TO 8.5m HIGH	12m
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LOT LAYOUT - SCALE 1:200 (A1)

REVISION - A

DATE 18.02.2022

LEGEND

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FINISHED SURFACE CONTOURS (1m)		SERVICES TRENCH (Electricity & NBN)		PATH (1.5 - 2.4m wide)	
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